



**LANDSCAPE NOTES**

- All plant material to meet A.A.N. Standards for size and quality.
- This is not a construction plan; it is intended for approximate location of plants only.
- Landscape contractor must conform to applicable Borough ordinances pursuant to each Township's jurisdiction.
- All plant material shall be tagged at the nursery indicating scientific name, common name, variety and size. All plant material is to conform to the American Standard for Nursery Stock, ANSI Z60.1, latest edition. All shade trees are 2'-1/2" to 3" minimum at a height of one (1) foot above the root ball.
- Responsibilities for installation and maintenance of plantings shall be arranged between owner and landscape contractor.
- All substitutions shall be submitted to the township engineer for review and approval prior to installation.
- Irrigation systems are not included on the plans at this time. However, lawns & shrub areas will be irrigated. Underground sprinkler systems shall be provided in all sodded areas and in all formal landscaped areas along the bulkhead subject to the approval of the Borough planner.
- All areas which are to be left in a natural state shall be seeded and all other areas are to be sodded.
- All plants to be planted as per planting details. Trees above 2-inch caliper to be guyed and staked parallel to street and as per detail. Stakes must be milled hardwood lumber, small tree trunks or branches are not a suitable substitute.
- Set plants such that after settlement plants shall bear the same relation to finished grade as to previous existing grade. Remove platforms, wire and binding from top and sides of ball, but do not remove burlap from under ball. Fill pit to finish grade, thoroughly soak and repeat filling until all settlement has taken place.
- In the event that discrepancies occur between the quantities of plants indicated on the Plant Schedule and those graphically depicted on the plans, the plant quantities indicated on the plan shall supersede.
- On all regraded surfaces, contractor shall provide a minimum of four inch even even cover of topsoil to all disturbed areas of the development.
- All shrub planting beds shall be rototilled and pH adjusted (where necessary) and fertilized. All planting beds shall provide for weed protection in the form of a pre-emergent herbicide and/or filter fabric. Non-porous black plastic material shall not be utilized. Mulch all trees and shrubs with a minimum of 4" of double shredded bark mulch. Where bedline is not indicated, mulch individual saucers. Shrub plantings are in a planting bed and defined by a 3" deep edge.
- All plant material to be guaranteed for two (2) years following installation and replaced in kind. Provision shall be made for a growth guarantee of one year. In the event the project is a public improvement or under the jurisdiction of public agency, the growth guaranty shall be that which is governed by the Developer's Agreement of provided otherwise on the plans. Plants shall be replaced if dead, not showing active and vigorous growth or otherwise in poor condition. Replacement shall be made at the beginning of the first succeeding planting season and all replacements shall have a growth guaranty equal to the stated above.  
  
Prior to the Owner's inspection and acceptance or rejection of the work, the Contractor shall prepare a written maintenance schedule for the first year for the Owner. The maintenance shall provide sufficient information as to water, fertilizing and other horticultural practices or methods to adequately establish, nurture and grow the plants for the first year. Should the Owner elect to retain the contractor for the purposes of maintenance the plants for the first year the requirement of a written maintenance schedule submission is deleted, however, the plant growth guaranty still is in place.  
  
The Contractor is advised to periodically check if the Owner is following the maintenance schedule and it is suggested that incomformities be directed in writing to the Owner.
- Site contractor should examine all engineering and field conditions for exact locations of utilities, driveways, drains, sewers, etc. and adjust planting accordingly. All trees shall be located five (5) feet from utilities. The contractor shall call N.J. underground utility location service a minimum of three days prior to any excavations. The contractor is advised of the existence of underground utilities on the site. Their exact location shall be verified in the field with the owner or general contractor prior to commencement of any digging operations. In the event they are uncovered, the contractor shall be held responsible for all damage to utilities and such damage shall not result in any additional expenses to the owner. Any damage of unreported lines shall not be the responsibility of the contractor.
- Thoroughly water each plant immediately following planting by Contractor. Plants shall be thoroughly watered once a week for three weeks following installation. If plants are installed during the growing season (warm weather conditions), additional watering may be necessary and its additional cost must be discussed with the Developer after the first three waterings are completed. Developer shall hire Contractor for watering as needed and until Homeowners Association takes over site.
- All plants shall be neatly pruned or clipped to preserve the natural character of the plants and in a manner appropriate to the particular requirements of each plant and to the satisfaction of the Landscape Architect. No plants shall be pruned or clipped prior to delivery except with the permission of the Landscape Architect. The central leader of all trees should never be removed. Broken or badly bruised branches shall be removed with a clean cut. All pruning shall be done with sharp tools. Cuts over 2" in diameter shall be painted over with an approved tree paint.
- The trunks of all shade trees shall be chemically treated for borers for the first year. Contractor shall use an insecticide recommended by the Soil Conservation District.
- Acer Rubrum, Quercus species, Tilia tomentosa, zelkova, liquidambar, crataegus, Betula species, and Cornus florida trees are not to be planted during the Fall season.
- All disturbed non-residential areas and planting areas to be topsoiled four (4) inches (minimum) fine graded, fertilized, limed, strawed, seeded and hydroseeded at the following rates:  
  
Fertilizer - 10-6-4 50% organic  
100 lbs./1,000 square feet  
Lime - 100 lbs./1,000 square feet  
Permanent Seed - See Soil Erosion Notes for other types of seed  
  
These specific seed mixtures shall be utilized within the following disturbed areas, Individual Lots (seed or sod): 40% Kentucky Bluegrass, 40% Chewing Fescue, and 20% Perennial Ryegrass at a rate of five (5) lbs./1,000 sf (substitutions approved by developer) and Middlesex County and Freehold Soil District.  
  
Basin Slopes and Bottoms: 55% Clemfine Tall Fescue, 20% Kentucky Bluegrass, 10% Perennial Ryegrass, 5% Alsike Clover, 5% Straker Redtop, and 5% Poo trivialis at a rate of 5lbs./1,000 sf.  
  
Wetlands and Transition Areas: 100% Streaker Redtop at a rate of 1.8 lbs./1,000 sf.  
  
Common Areas (other than above): 90% Rebel Tall Fescue and 10% Kentucky Bluegrass at a rate of seven (7)lbs./1,000 sf.  
  
Hydromulch - For tack of straw 10-20 lbs./1,000 square feet.
- All lawn areas to have a uniform stand of sod.
- Sod to be used for rapid establishment must be watered by irrigation.
- Refer to other general notes on plans that will also relate to landscaping issues such as, tree protection, clearing limits, soil stabilization, etc.
- Wire baskets to be removed prior to backfilling the planting pit.
- All plant relocation's shall be submitted to the township engineer for review and approval prior to installation.
- All retaining walls over 30" high must have a 2-roll white PVC fence or equal and hand rails along bulkhead.

**GENERAL NOTES:**

- The proposed project complies with the Borough of Sea Bright requirements.
- The State Planning Area Designation of the subject tract has been determined to be a PA #42 Rural Environmentally Sensitive.
- Individual lots for development must satisfy the Borough Construction Official that each separate lot for development for a dwelling with a basement proposed may be so developed in accordance with all applicable rules, requirements and codes.
- The developer shall maintain all temporary soil erosion and sediment control measures throughout the construction of the project. Said maintenance shall include but not be limited to the cleaning and reestablishment of sediment control barriers, silt fencing, inlet protection, etc., where determined necessary by the Borough Engineer.
- A Plot Plan will be provided that will detail exact home footprint and driveway the time of building permit.
- BULK REQUIREMENTS - (SEE COVER SHEET)**  
Total number of units is 44 consisting of 4 Single Family units, 25 Multi Family Townhouses & 15 Condominium units. Total square footage is 35,326.
- Outbound and Topographic information based upon a survey performed by Landmark Surveying and Engineering, Dated February 28, 2018.
- Additional topography information based upon NAVD 1988 Datum prepared by WJH Engineering by Leica GPS survey equipment. New field topography was obtained along the street frontage in order to supplement.
- Freshwater wetlands are not located on site.
- Storm Sewer pipe to be ASTM C76-61 CLASS IV RCP unless otherwise indicated. Inlets to be N.J.D.O.T. TYPE 'B' unless otherwise indicated if used.
- Storm Manholes to be four (4) feet diameter standard unless otherwise indicated. All curb inlets to have bicycle safe grates.
- Length of pipe noted for storm sewer is from center line to centerline of structure unless otherwise indicated.
- Roof Drains will connect to storm water system.
- Public water and sewer available.
- All construction materials shall conform to Borough specifications as stated in the Land Use Ordinances
- All Traffic Control Signage and Striping shall conform to the MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST REVISION, and PUBLISHED BY THE U.S.D.O.T., if so required.
- All new utilities to be constructed underground.
- FF is the First Floor, GF is the Garage Floor, and BF is the Basement Floor, which is the lowest floor in the building which is set at two (2) feet above Seasonal High Water Table. Basement Floor elevation equals first floor elevation minus 9 feet. Seasonal High Water Table shall be reviewed again at the time of excavation of the basement area and any discrepancies reported to the site engineer and/or developer.
- All existing structures, appurtenances and debris will be removed from the site in accordance with all solid waste disposal standards and Health Department Regulations.
- All construction shall comply with the current Rules and Regulations of the NJDEP, Public Works Dept., Monmouth County Board of Health and all other applicable regulatory agencies.
- For all storm crossings where clearance between the water and storm drain is less than 18 inches, pier supports for the storm line shall be provided in order to prevent load transfers to the affected utility.
- All disturbed areas are to be graded and stabilized at a minimum of 2% slope or 3:1 maximum and 1% minimum for roadways & driveways.
- Representative soil logs provided for the project site were not prepared by WJH ENGINEERING.
- The location of stockpiles to be determined at the time of construction. Stockpiles shall be stabilized in accordance with the Soil Erosion and Sediment Control Standards of New Jersey.
- CONTRACTOR SHALL NOTIFY WJH, IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED ON THESE PLANS, AND/OR IF SUCH CONDITIONS, IN THE CONTRACTOR'S OPINION, WOULD RENDER THE DESIGNS SHOWN ON THESE PLANS INAPPROPRIATE OR INEFFECTIVE.
- The existing utility information shown on these plans has been obtained from a variety of sources and is not guaranteed as to accuracy or completeness. The contractor shall verify to his own satisfaction prior to excavation of the horizontal and vertical alignment of all existing utilities in the areas of the proposed excavation and proposed utility crossings. The contractor shall call for utility mark out at 1-800-272-1000 prior to any soil disturbance or excavation.
- The site is situated outside of flood boundaries as shown on Flood Insurance Rate Map as Zone AE-8, (FIRM) MAP PANEL 34025C0201G of the Borough of Sea Bright, dated 6/20/18.
- SCS Standards will be utilized in order to control sediment erosion.
- The Applicant is required to maintain all temporary Soil Erosion and Sediment Control measures throughout the construction project. Said maintenance shall include but not be limited to the cleaning and re-establishment of sediment control barriers, silt fencing, inlet protection, etc. where determined to be necessary by the Freehold Soil Conservation District.
- Waste Management to be provided by the Public Works Dept. in the form of curbside pickup. Multi Family with inside trash storage will be a private contractor.
- Parking requirements - All residential Single Family lots provide 2 spaces in the garage (possibly 4 spaces in some model homes). All other unit types provide 2 spaces inside the garage or parking garage.
- All lands proposed for dedication to the Township will be subject to the requirements of Sea Bright Council, if agreed to.

**TREE COVERAGE AND TREE PROTECTION NOTES**

- There are no existing forest systems on site.
- There were no observed specimens as defined as to being plants reaching a size of the known largest example of the plant in the state.

**DRAINAGE NOTES**

- Any crawl space slab or basement slab shall be a minimum of 2.0 foot above the seasonal high water table and a sump pump shall be provided.



**FIRE PROTECTION NOTES**

- Hard packed driveways must be installed before any combustibles are constructed on site.
- Contractor shall coordinate with the Bureau of Fire Prevention for any additional concerns.

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NO.	DATE	DESCRIPTION	DRAWN BY
1	7/22/22	REVISED PURSUANT TO BOROUGH COMMENTS	KMB

**PRELIMINARY MAJOR SUBDIVISION & SITE PLAN**  
BLOCK 13 LOTS 13-18, 20, 21  
BLOCK 14 LOTS 12, 14  
BLOCK 15 LOTS 5-12  
BOROUGH OF SEA BRIGHT MONMOUTH COUNTY NEW JERSEY

 CERT. OF AUTH. NO. 24G428117300 257 MOARMOUTH ROAD, BLDG. A, STE. 7, OAKRURST, NJ 07795 PHONE: 732-223-1313 WWW.WJHENGINEERING.COM	<b>NOTES</b>  <b>WALTER JOSEPH HOPKIN</b> N.J. PROFESSIONAL ENGINEER, LIC. No. 40673 
	SCALE: NONE DRAWN BY: J.L. DATE: 1/17/22 JOB No.: 19179A SHEET No.: 2 OF 13

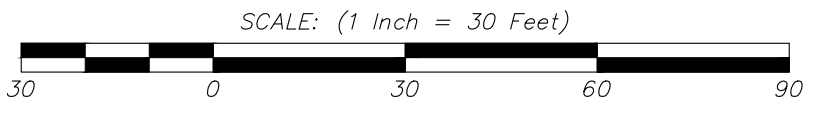
# SOUTH SHREWSBURY RIVER



**NOTE:**  
EXISTING UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. LIMITS OF UTILITIES TO BE REMOVED SHALL BE COORDINATED WITH RESPECTIVE UTILITY COMPANIES.

### LEGEND

- GAS VALVE
- WATER VALVE
- WATER WELL
- UTILITY MANHOLE
- DRAINAGE MANHOLE
- ELECTRICAL MANHOLE
- SANITARY MANHOLE
- TELEPHONE MANHOLE
- TRAFFIC SIGN
- TRAFFIC SIGN (2 POST)
- STREET SIGN
- LIGHT POST
- GROUND LIGHT
- UTILITY POLE
- FIRE HYDRANT
- DRAINAGE INLET (TYPE 'A')
- DRAINAGE INLET (TYPE 'B')
- DRAINAGE INLET (TYPE 'C')
- DRAINAGE LINE
- ELECTRIC LINE
- GAS LINE
- SANITARY SEWER LINE
- TELEPHONE LINE
- WATER LINE
- OVERHEAD WIRES
- MONITORING WELL
- IRON/ALUMINUM PIPE FOUND
- IRON BAR FOUND
- CONCRETE MONUMENT FOUND
- SURVEY
- FILE MAP
- GAS METER
- D.C. DEPRESSED CURB
- F.C. FLUSH CURB



1	7/22/22	REVISED PURSUANT TO BOROUGH COMMENTS	KMB
NO.	DATE	DESCRIPTION	DRAWN BY
<b>PRELIMINARY MAJOR SUBDIVISION &amp; SITE PLAN</b>			
BLOCK 13 LOTS 13-18, 20, 21			
BLOCK 14 LOTS 12, 14			
BLOCK 15 LOTS 5-12			
BOROUGH OF SEA BRIGHT		MONMOUTH COUNTY NEW JERSEY	
<b>WH</b> ENGINEERING	CERT. OF AUTH. NO. 24GA28117300 257 MONMOUTH ROAD, BLDG. A, STE. 7, OAKHURST, NJ 07795 PHONE: 732-223-1313 WWW.WJENGINEERING.COM		<b>EXISTING CONDITIONS DEMOLITION PLAN</b>
	WALTER JOSEPH HOPKIN N.J. PROFESSIONAL ENGINEER, LIC. No. 40673		
SCALE: 1" = 30'	DRAWN BY: JUL	DATE: 1/17/22	JOB No.: 19179A SHEET No.: 3 OF 13

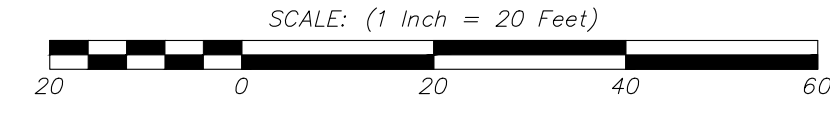
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# SOUTH SHREWSBURY RIVER

EXISTING BULKHEAD TO BE REMOVED AND REPLACED IN THE SAME LOCATION  
 PROPOSED TOP OF BULKHEAD ELEVATION 7.2  
 THROUGHTOUT PROJECT SITE



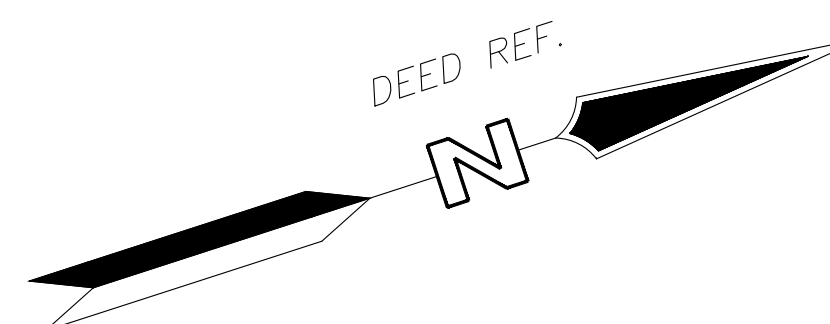
- LEGEND**
- ⊗ GAS VALVE
  - ⊗ WATER VALVE
  - ⊗ WATER WELL
  - ⊗ UTILITY MANHOLE
  - ⊗ DRAINAGE MANHOLE
  - ⊗ ELECTRICAL MANHOLE
  - ⊗ SANITARY MANHOLE
  - ⊗ TELEPHONE MANHOLE
  - ⊗ TRAFFIC SIGN
  - ⊗ TRAFFIC SIGN (2 POST)
  - ⊗ STREET SIGN
  - ⊗ LIGHT POST
  - ⊗ GROUND LIGHT
  - ⊗ UTILITY POLE
  - ⊗ FIRE HYDRANT
  - ⊗ DRAINAGE INLET (TYPE "A")
  - ⊗ DRAINAGE INLET (TYPE "B")
  - ⊗ DRAINAGE INLET (TYPE "E")
  - DRAINAGE LINE
  - ELECTRIC LINE
  - GAS LINE
  - SANITARY SEWER LINE
  - TELEPHONE LINE
  - WATER LINE
  - OVERHEAD WIRES
  - ⊗ MONITORING WELL
  - ⊗ IRON/ALUMINUM PIPE FOUND
  - ⊗ IRON BAR FOUND
  - ⊗ CONCRETE MONUMENT FOUND
  - (S) SURVEY
  - (FM) FILE MAP
  - ⊗ GAS METER
  - ⊗ D.C. DEPRESSED CURB
  - ⊗ F.C. FLUSH CURB



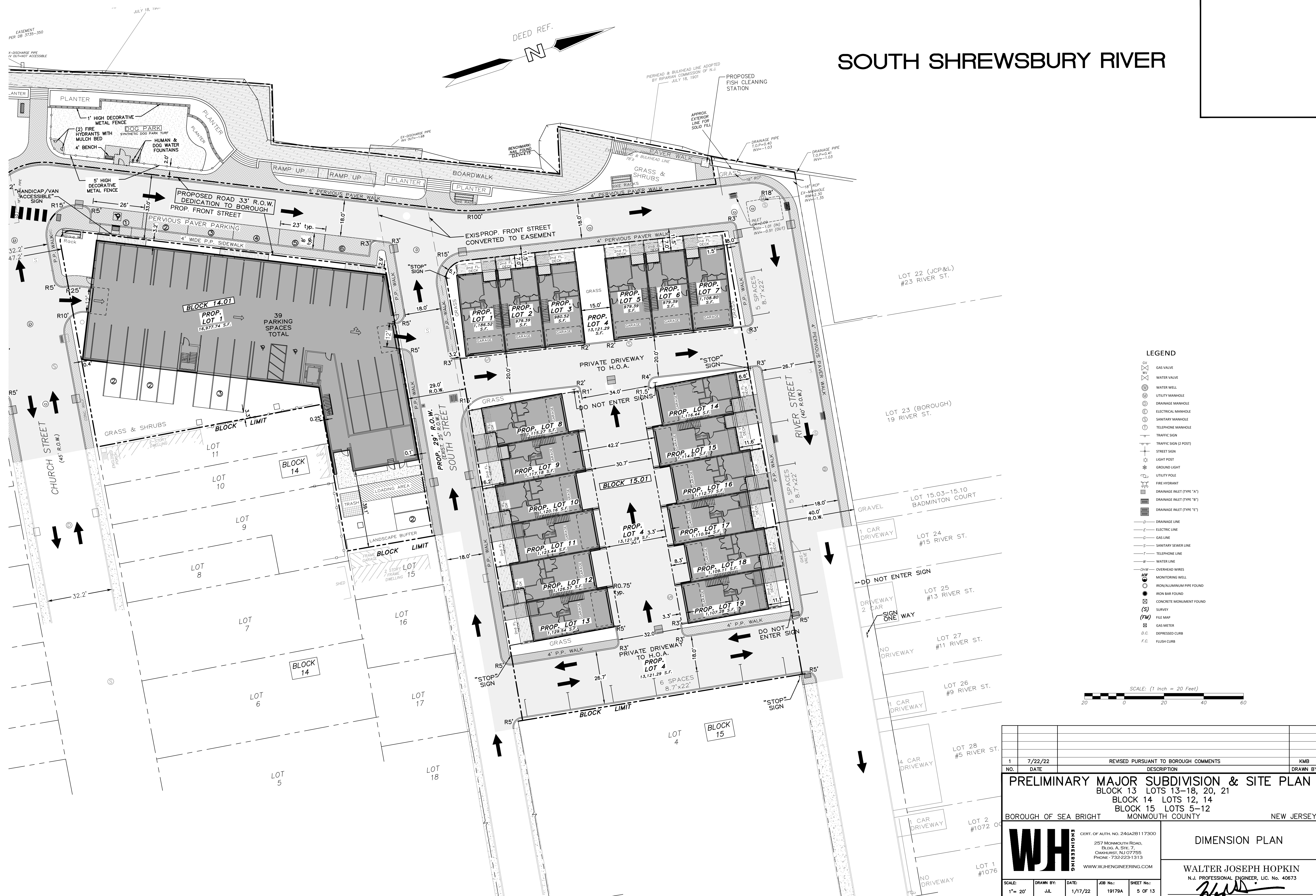
SEE SHEET 5 OF 13 FOR CONTINUATION

1	7/22/22	REVISED PURSUANT TO BOROUGH COMMENTS	KMB
NO.	DATE	DESCRIPTION	DRAWN BY
<b>PRELIMINARY MAJOR SUBDIVISION &amp; SITE PLAN</b> BLOCK 13 LOTS 13-18, 20, 21 BLOCK 14 LOTS 12, 14 BLOCK 15 LOTS 5-12 BOROUGH OF SEA BRIGHT      MONMOUTH COUNTY      NEW JERSEY			
		CERT. OF AUTH. NO. 246A28117300 257 MONMOUTH ROAD, BLDG. A, STE. 7, OAKHURST, NJ 07755 PHONE: 732-223-1313 WWW.WHENGINEERING.COM	
<b>DIMENSION PLAN</b>		<b>WALTER JOSEPH KOPIN</b> N.J. PROFESSIONAL ENGINEER, LIC. No. 40673	
SCALE:	DRAWN BY:	DATE:	JOB No.:
1" = 20'	JUL	1/17/22	19179A
			SHEET No.:
			4 OF 13

# SOUTH SHREWSBURY RIVER

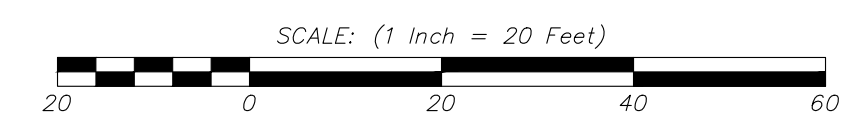


SEE SHEET 4 OF 13 FOR CONTINUATION



### LEGEND

- GAS VALVE
- WATER VALVE
- WATER WELL
- UTILITY MANHOLE
- DRAINAGE MANHOLE
- ELECTRICAL MANHOLE
- SANITARY MANHOLE
- TELEPHONE MANHOLE
- TRAFFIC SIGN
- TRAFFIC SIGN (2 POST)
- STREET SIGN
- LIGHT POST
- GROUND LIGHT
- UTILITY POLE
- FIRE HYDRANT
- DRAINAGE INLET (TYPE "A")
- DRAINAGE INLET (TYPE "B")
- DRAINAGE INLET (TYPE "C")
- DRAINAGE LINE
- ELECTRIC LINE
- GAS LINE
- SANITARY SEWER LINE
- TELEPHONE LINE
- WATER LINE
- OVERHEAD WIRES
- MONITORING WELL
- IRON/ALUMINUM PIPE FOUND
- IRON BAR FOUND
- CONCRETE MONUMENT FOUND
- SURVEY
- FILE MAP
- GAS METER
- D.C. DEPRESSED CURB
- F.C. FLUSH CURB



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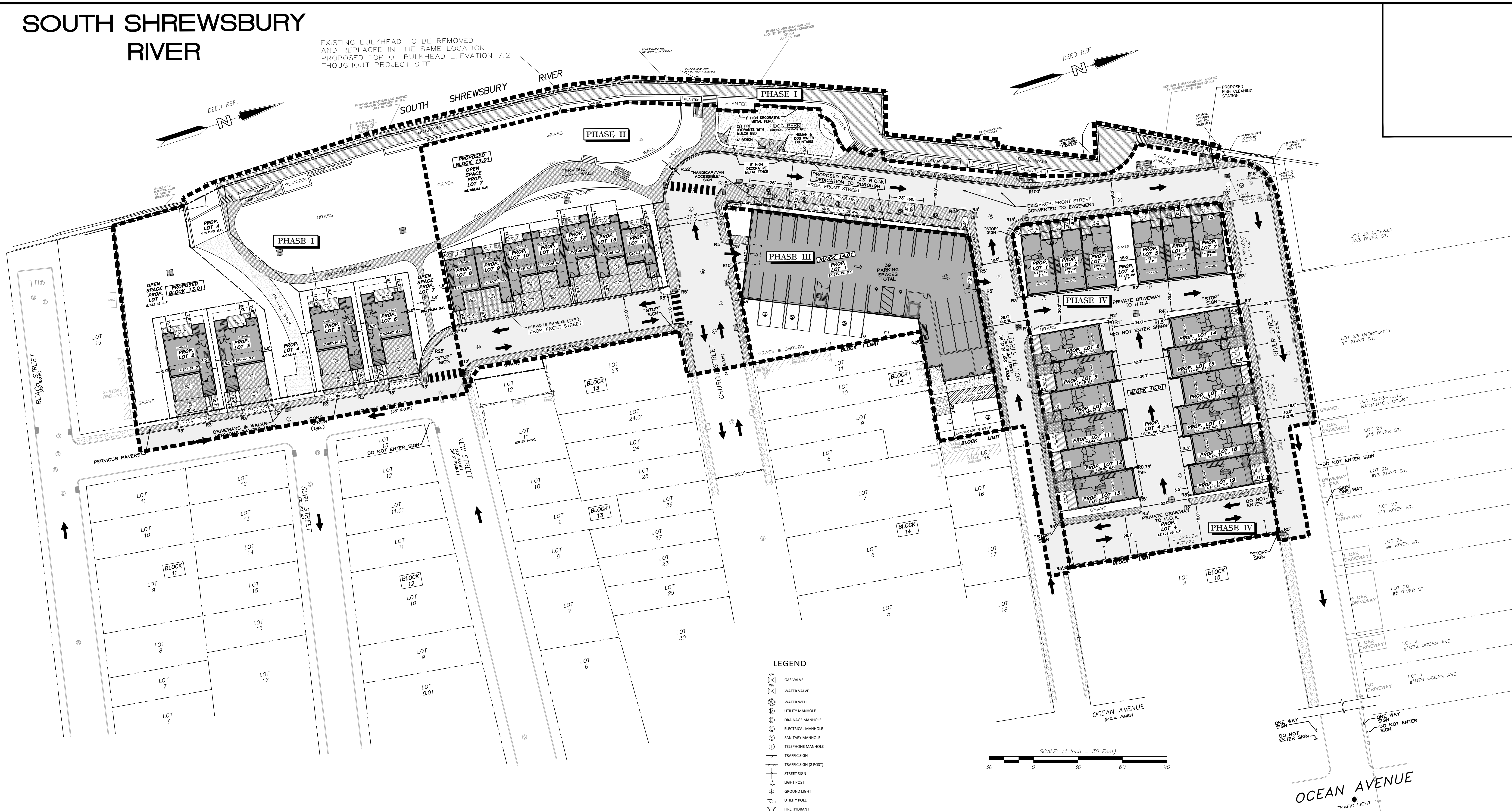
**PRELIMINARY MAJOR SUBDIVISION & SITE PLAN**  
 BLOCK 13 LOTS 13-18, 20, 21  
 BLOCK 14 LOTS 12, 14  
 BLOCK 15 LOTS 5-12  
 BOROUGH OF SEA BRIGHT      MONMOUTH COUNTY      NEW JERSEY

	CERT. OF AUTH. NO. 24GA28117300 257 MONMOUTH ROAD, BLDG. A, STE. 7, OAKHURST, NJ 07795 PHONE: 732-229-1313 WWW.WJHENGINEERING.COM		<b>DIMENSION PLAN</b>  WALTER JOSEPH HOPKIN N.J. PROFESSIONAL ENGINEER, LIC. No. 40673 
	SCALE: 1" = 20' DRAWN BY: JLL DATE: 1/17/22 JOB No.: 19179A SHEET No.: 5 OF 13		

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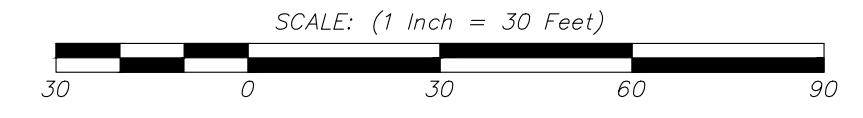
# SOUTH SHREWSBURY RIVER

EXISTING BULKHEAD TO BE REMOVED AND REPLACED IN THE SAME LOCATION. PROPOSED TOP OF BULKHEAD ELEVATION 7.2 THROUGHOUT PROJECT SITE.



### LEGEND

- ⊗ GAS VALVE
- ⊕ WATER VALVE
- ⊙ WATER WELL
- ⊕ UTILITY MANHOLE
- ⊕ DRAINAGE MANHOLE
- ⊕ ELECTRICAL MANHOLE
- ⊕ SANITARY MANHOLE
- ⊕ TELEPHONE MANHOLE
- ⊕ TRAFFIC SIGN
- ⊕ TRAFFIC SIGN (POST)
- ⊕ STREET SIGN
- ⊕ LIGHT POST
- ⊕ GROUND LIGHT
- ⊕ UTILITY POLE
- ⊕ FIRE HYDRANT
- ⊕ DRAINAGE INLET (TYPE "A")
- ⊕ DRAINAGE INLET (TYPE "B")
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- D DRAINAGE LINE
- E ELECTRIC LINE
- G GAS LINE
- S SANITARY SEWER LINE
- T TELEPHONE LINE
- W WATER LINE
- O W OVERHEAD WIRES
- ⊕ MONITORING WELL
- ⊕ IRON/ALUMINUM PIPE FOUND
- ⊕ IRON BAR FOUND
- ⊕ CONCRETE MONUMENT FOUND
- (S) SURVEY
- (FM) FILE MAP
- ⊕ GAS METER
- D.C. DEPRESSED CURB
- F.C. FLUSH CURB



NO.	DATE	DESCRIPTION	DRAWN BY
1	7/22/22	REVISED PURSUANT TO BOROUGH COMMENTS	KMB

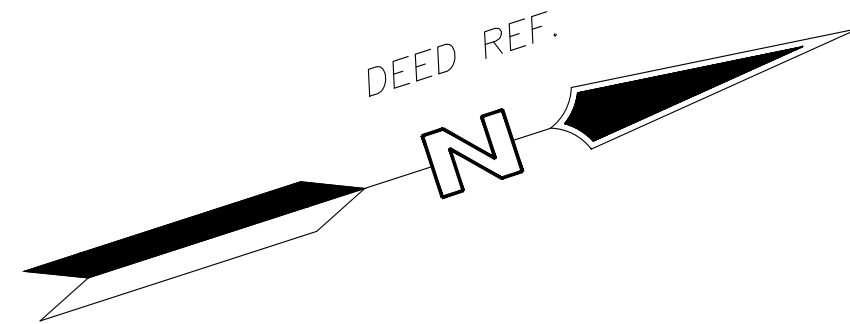
**PRELIMINARY MAJOR SUBDIVISION & SITE PLAN**  
 BLOCK 13 LOTS 13-18, 20, 21  
 BLOCK 14 LOTS 12, 14  
 BLOCK 15 LOTS 5-12  
 BOROUGH OF SEA BRIGHT MONMOUTH COUNTY NEW JERSEY

**OVERALL SITE/PHASING PLAN**  
 WALTER JOSEPH HOPKIN  
 N.J. PROFESSIONAL ENGINEER, LIC. No. 40673

SCALE: 1" = 30'    DRAWN BY: JUL    DATE: 1/17/22    JOB No.: 19179A    SHEET No.: 6 OF 13

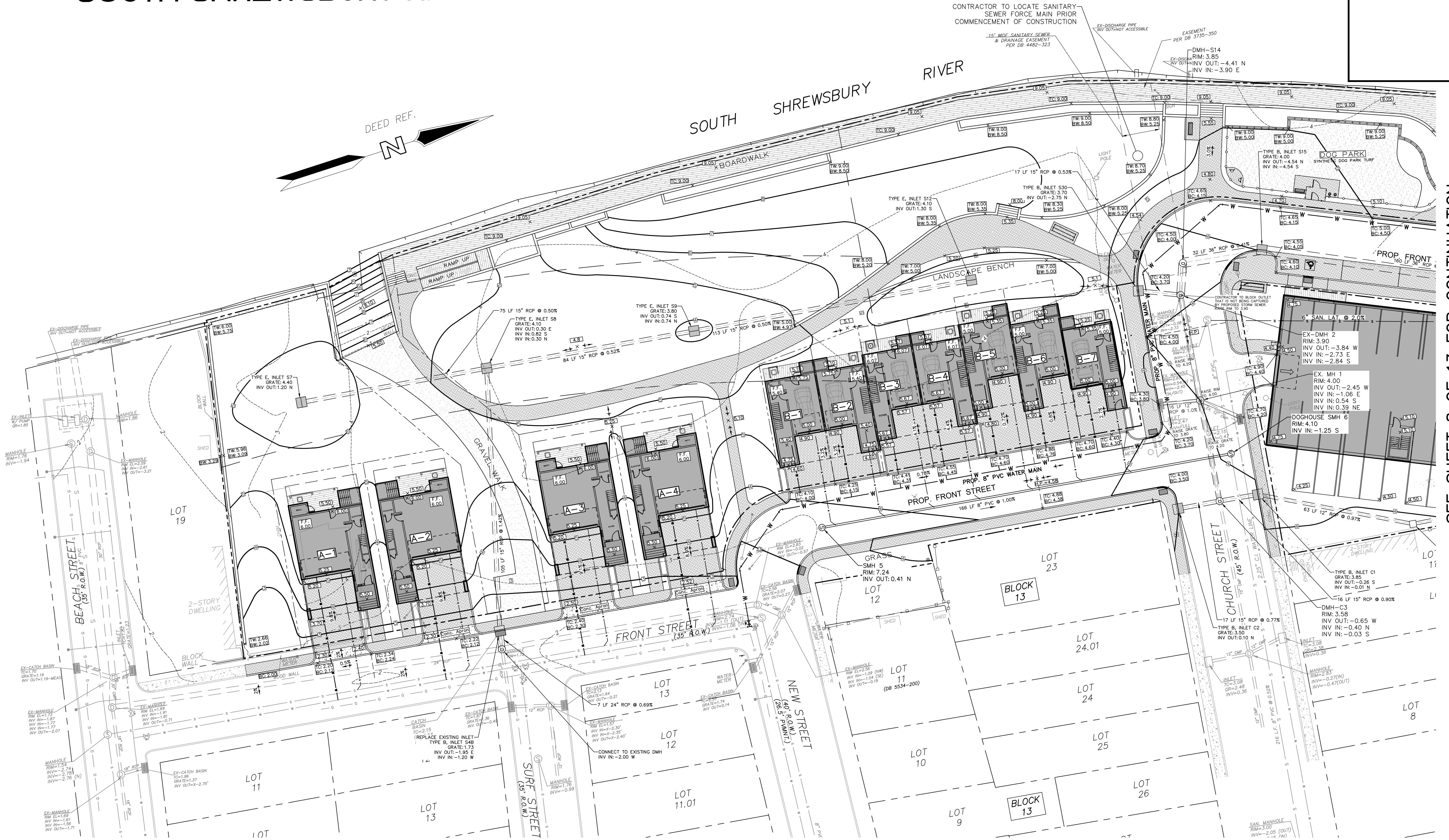
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# SOUTH SHREWSBURY RIVER

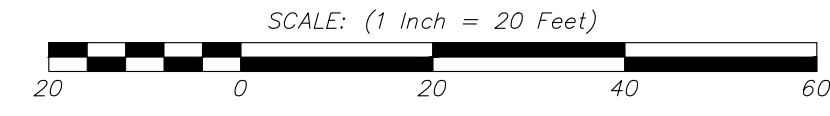


SOUTH SHREWSBURY RIVER

CONTRACTOR TO LOCATE SANITARY SEWER FORCE MAIN PRIOR COMMENCEMENT OF CONSTRUCTION



- LEGEND**
- ⊕ GAS VALVE
  - ⊕ WATER VALVE
  - ⊕ WATER WELL
  - ⊕ UTILITY MANHOLE
  - ⊕ DRAINAGE MANHOLE
  - ⊕ ELECTRICAL MANHOLE
  - ⊕ SANITARY MANHOLE
  - ⊕ TELEPHONE MANHOLE
  - ⊕ TRAFFIC SIGN
  - ⊕ TRAFFIC SIGN (2 POST)
  - ⊕ STREET SIGN
  - ⊕ LIGHT POST
  - ⊕ GROUND LIGHT
  - ⊕ UTILITY POLE
  - ⊕ FIRE HYDRANT
  - ⊕ DRAINAGE INLET (TYPE "A")
  - ⊕ DRAINAGE INLET (TYPE "B")
  - ⊕ DRAINAGE INLET (TYPE "E")
  - D DRAINAGE LINE
  - E ELECTRIC LINE
  - G GAS LINE
  - S SANITARY SEWER LINE
  - T TELEPHONE LINE
  - W WATER LINE
  - HW OVERHEAD WIRES
  - ⊕ MONITORING WELL
  - ⊕ IRON/ALUMINUM PIPE FOUND
  - ⊕ IRON BAR FOUND
  - ⊕ CONCRETE MONUMENT FOUND
  - (S) SURVEY
  - (FM) FILE MAP
  - ⊕ GAS METER
  - D.C. DEPRESSED CURB
  - F.C. FLUSH CURB



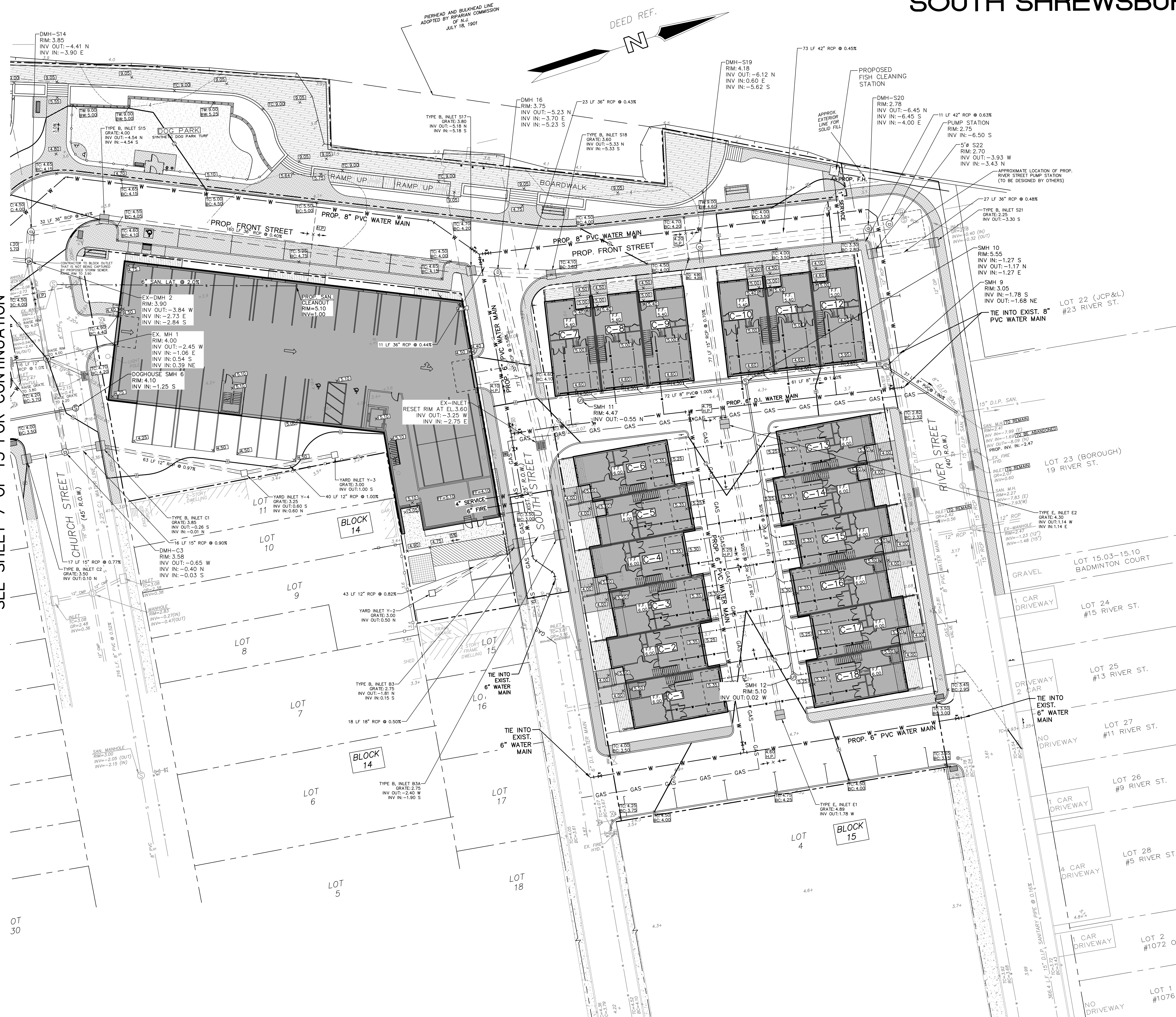
SEE SHEET 8 OF 13 FOR CONTINUATION

NO.	DATE	DESCRIPTION	DRAWN BY
1	7/22/22	REVISED PURSUANT TO BOROUGH COMMENTS	KMB
<b>PRELIMINARY MAJOR SUBDIVISION &amp; SITE PLAN</b> BLOCK 13 LOTS 13-18, 20, 21 BLOCK 14 LOTS 12, 14 BLOCK 15 LOTS 5-12 BOROUGH OF SEA BRIGHT MONMOUTH COUNTY NEW JERSEY			
		CERT. OF AUTH. NO. 24GA28117300 257 MONMOUTH ROAD, BLDG. A, STE. 7 OAKHURST, NJ 07755 PHONE: 732-223-1313 WWW.WHENGINEERING.COM	
SCALE: 1" = 20' DRAWN BY: JUL DATE: 1/17/22 JOB No.: 19179A SHEET No.: 7 OF 13		GRADING, DRAINAGE & UTILITY PLAN WALTER JOSEPH HOPKIN N.J. PROFESSIONAL ENGINEER, LIC. No. 40673 	

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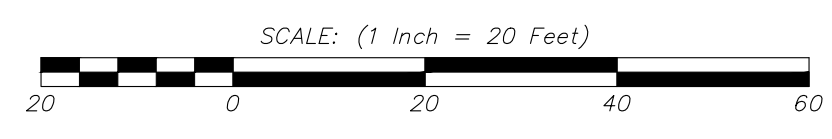
# SOUTH SHREWSBURY RIVER

SEE SHEET 7 OF 13 FOR CONTINUATION



### LEGEND

- GAS VALVE
- WATER VALVE
- WATER WELL
- UTILITY MANHOLE
- DRAINAGE MANHOLE
- ELECTRICAL MANHOLE
- SANITARY MANHOLE
- TELEPHONE MANHOLE
- TRAFFIC SIGN
- TRAFFIC SIGN (2 POST)
- STREET SIGN
- LIGHT POST
- GROUND LIGHT
- UTILITY POLE
- FIRE HYDRANT
- DRAINAGE INLET (TYPE "A")
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- DRAINAGE LINE
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- MONITORING WELL
- IRON/ALUMINUM PIPE FOUND
- IRON BAR FOUND
- CONCRETE MONUMENT FOUND
- SURVEY
- FILE MAP
- GAS METER
- D.C. DEPRESSED CURB
- F.C. FLUSH CURB



NO.	DATE	DESCRIPTION	DRAWN BY
1	7/22/22	REVISED PURSUANT TO BOROUGH COMMENTS	KMB

**PRELIMINARY MAJOR SUBDIVISION & SITE PLAN**  
 BLOCK 13 LOTS 13-18, 20, 21  
 BLOCK 14 LOTS 12, 14  
 BLOCK 15 LOTS 5-12  
 BOROUGH OF SEA BRIGHT MONMOUTH COUNTY NEW JERSEY

**WH ENGINEERING**  
 CERT. OF AUTH. NO. 24GA28117300  
 257 MONMOUTH ROAD,  
 BLDG. A, STE. 7,  
 OAKHURST, NJ 07755  
 PHONE: 732-223-1313  
 WWW.WHENGINEERING.COM

**GRADING, DRAINAGE & UTILITY PLAN**  
**WALTER JOSEPH HOPKIN**  
 N.J. PROFESSIONAL ENGINEER, LIC. NO. 40673

SCALE: 1" = 20'	DRAWN BY: JUL	DATE: 1/17/22	JOB NO.: 19179A	SHEET NO.: 8 OF 13
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# SOUTH SHREWSBURY RIVER

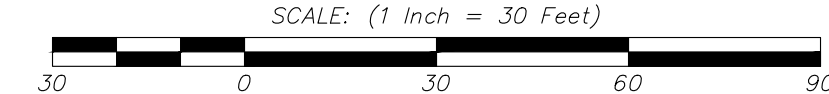


PLANTING LIST (Rev. 1/17/22)

Type	Symbol	Total	Botanical Name	Common Name	Size	Root	Remark	Mature Size	
Shade/ Flw Evergreen Trees	AC	2	Amelanchier canadensis	Robin Hill Pink Shadblow	10 - 12'	B & B	2-3 stem	20 - 25'	
	ACC	3	Acer Campestre	Hedge Maple	2 1/2 - 3" cal	B & B		20 - 25'	
	AP	2	Acer Pseudoplatanus	Esk Sunset Planetree	2 1/2 - 3" cal	B & B		12 - 20'	
	CL	17	Crataegus Lavalley	Lavalle Hawthorn	2 1/2 - 3" cal	B & B	Specimens	20 - 25'	
	GT	12	Gleditsia Tricanthos	Shademaster Locust	2 1/2 - 3" cal	B & B		40 - 45'	
	NS	13	Nyssa Sylvatica	Wildfire Blackgum	2 1/2 - 3" cal	B & B		30 - 40'	
	ZS	17	Zelkova serrata	Village Green Zelkova	2 1/2 - 3" cal	B & B		40 - 50'	
	IO	4	Ilex Opaca	American Holly	6-8'	B & B		40-45'	
	PT	11	Prunus Thunbergi	Black Pine	6-8'	B & B		40-45'	
	Perennial/ Grasses	RFG	20	Rudbeckia Fulgida	Goldstrum. Black eyed susan	1 gallon	Pots	2" oc	
		NT	154	Nassella Tenusissima	Feather Grass	1 gallon	Pots	2" oc	
LMV		35	Lioripe muscuria variegated	Variogated Lilytuff	1 gallon	Pots	2" oc		
Shrubs	CA	64	Clethra Alnifolia	humingbird Pink Summersweet	18-24"	Pots		24-30"	
	CTS	74	Hydrangea Otaksa	Blue Hydrangea	18-24"	Pots		24-30"	
	ICC	104	Ilex Glabra compacta	Compact inkberry holly	18-24"	Pots		3-4'	
	JC	46	Juniperus Conferta	Shore Juniper	18-24"	Pots		2-4'	
	JHHB	22	Juniperus horzon	Bar Harbor Juniper	18-24"	Pots		2-4'	
	PM	7	Prunus Maritima	Beach Plum	18-24"	Pots		2-4'	
	RC	55	Rhus Copalliana	Aromatic Grow Low Sumac	18-24"	Pots		2-4'	
	PL	70	Prunus laurocarassus	Ship Laurel	36 - 42"	Pots		6-8'	
	PF	50	Potentilla fruticosa	Katherine Cinquefoil	18-24"	Pots		2-3'	
	SW	12	Spirea Anthony Waterer	Anthony waters spirea	18-24"	Pots		2-4'	
	TD	13	Taxus densiformis	Japan Yew	18-24"	Pots		2-3'	

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**PRELIMINARY MAJOR SUBDIVISION & SITE PLAN**  
 BLOCK 13 LOTS 13-18, 20, 21  
 BLOCK 14 LOTS 12, 14  
 BLOCK 15 LOTS 5-12

BOROUGH OF SEA BRIGHT      MONMOUTH COUNTY      NEW JERSEY

WH ENGINEERING  
 CERT. OF AUTH. NO. 24GA28117300  
 257 MONMOUTH ROAD,  
 BLDG. A, STE. 7  
 OAKHURST, NJ 07755  
 PHONE: 732-223-1313  
 WWW.WHENGINEERING.COM

**LANDSCAPING PLAN**

WALTER JOSEPH HOPKIN  
 N.J. PROFESSIONAL ENGINEER, LIC. No. 40673

SCALE: 1" = 30'  
 DRAWN BY: JUL  
 DATE: 1/17/22  
 JOB No.: 19179A  
 SHEET No.: 9 OF 13

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# SOUTH SHREWSBURY RIVER

LIMIT OF DISTURBANCE (typ.)  
3.63 Acres

TEMPORARY SOIL STOCKPILE (typ.)

TEMPORARY CONSTRUCTION ENTRANCE TO OPEN SPACE

INLET PROTECTION (typ.)

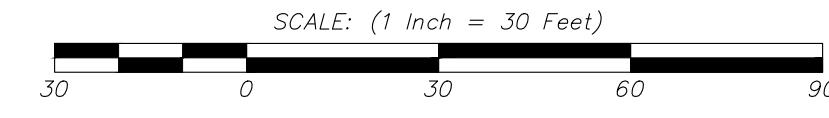
STABILIZED CONSTRUCTION ENTRANCE

SILT FENCE (typ.)

STABILIZED CONSTRUCTION ENTRANCE

### LEGEND

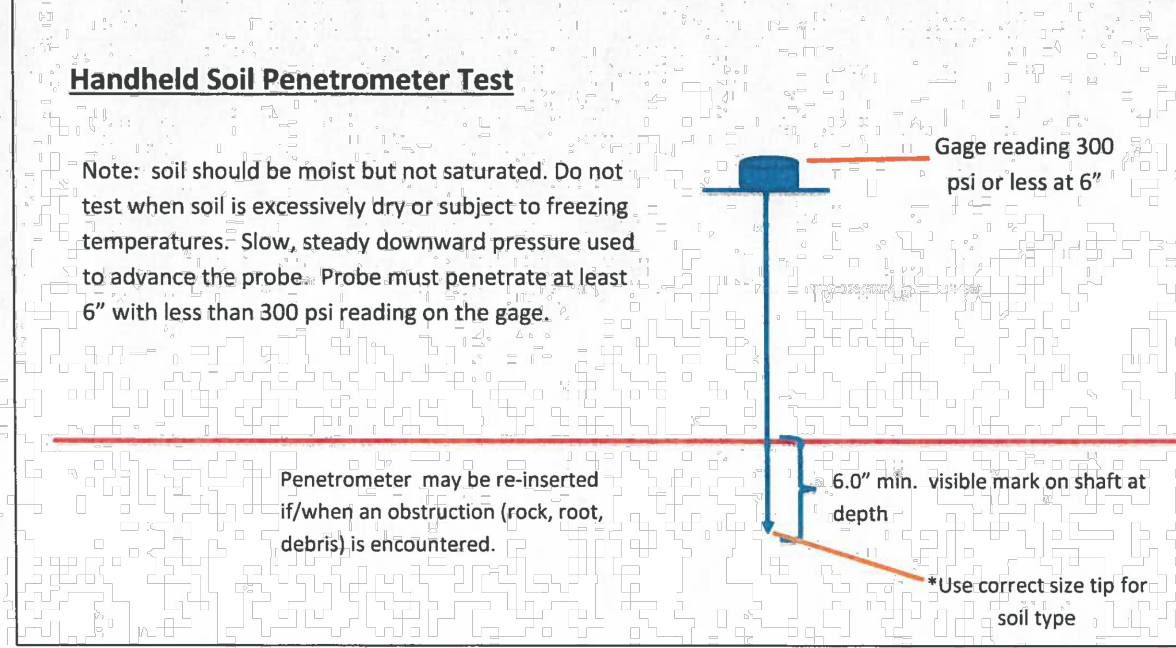
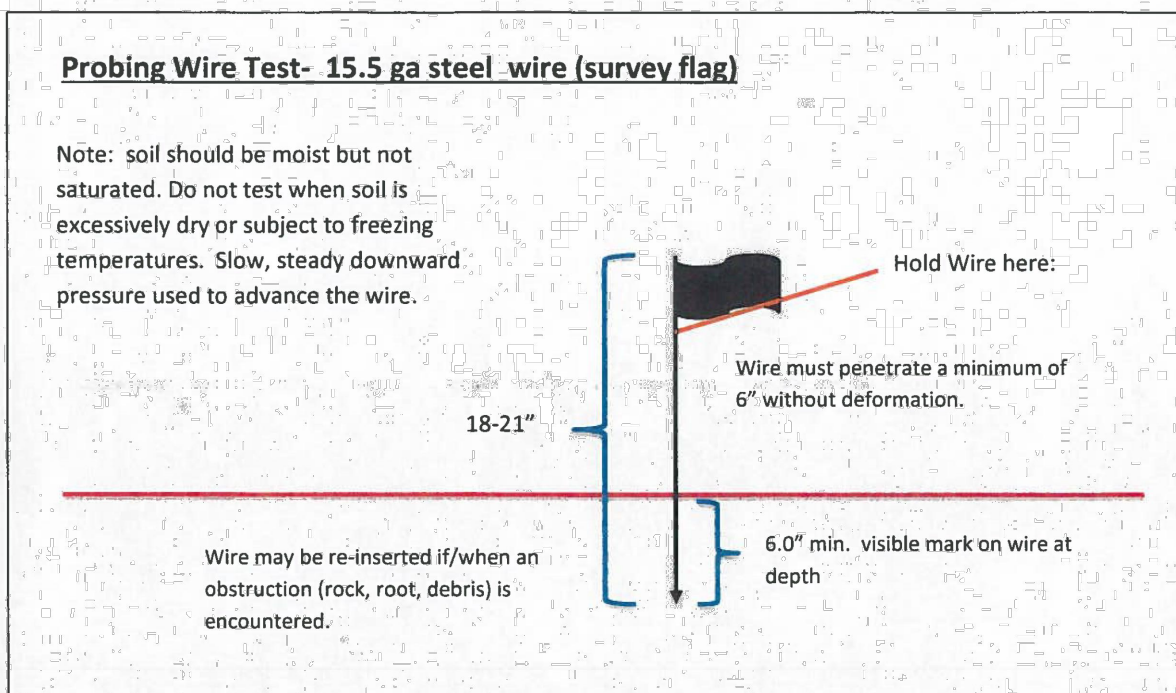
- ⊗ GAS VALVE
- ⊕ WATER VALVE
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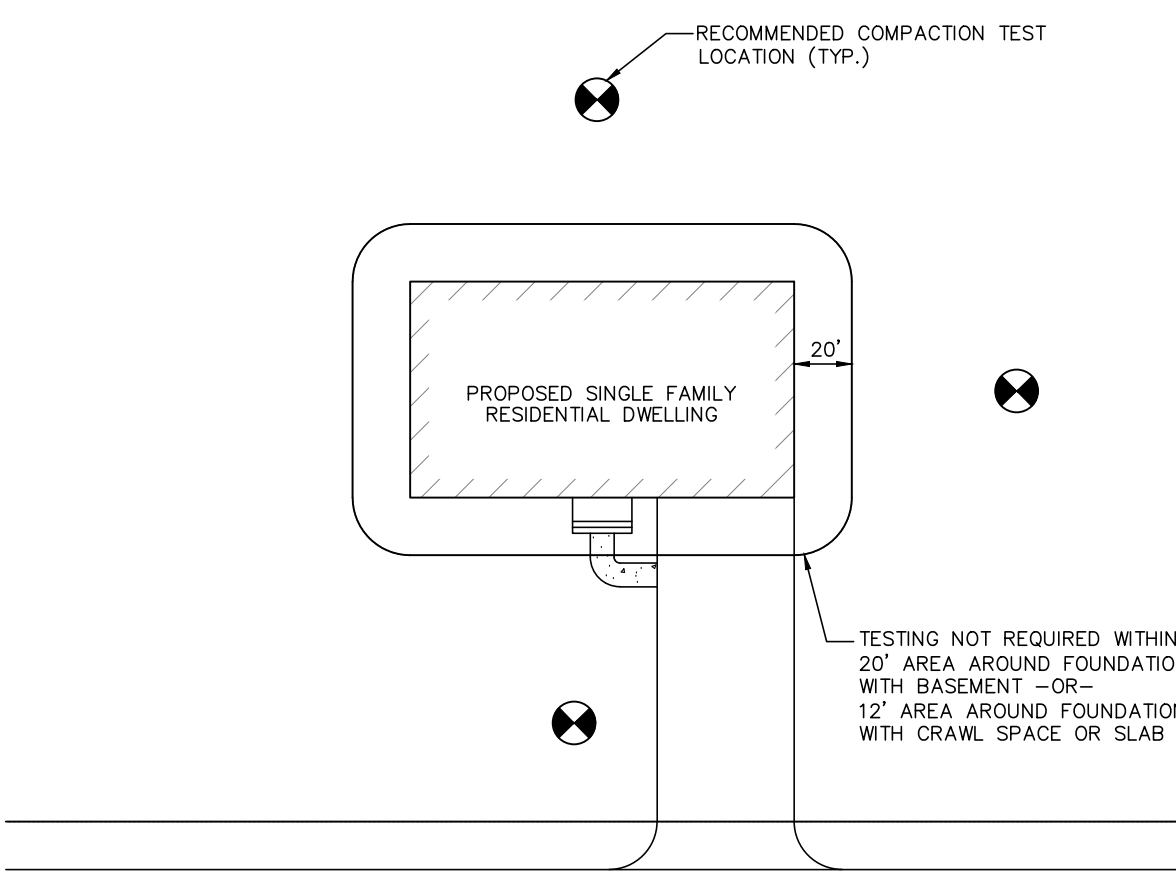
1	7/22/22	REVISED PURSUANT TO BOROUGH COMMENTS	KMB
NO.	DATE	DESCRIPTION	DRAWN BY
<b>PRELIMINARY MAJOR SUBDIVISION &amp; SITE PLAN</b>			
BLOCK 13 LOTS 13-18, 20, 21			
BLOCK 14 LOTS 12, 14			
BLOCK 15 LOTS 5-12			
BOROUGH OF SEA BRIGHT		MONMOUTH COUNTY NEW JERSEY	
<b>WH</b> ENGINEERING		<b>SOIL EROSION &amp; SEDIMENT CONTROL PLAN</b>	
		WALTER JOSEPH HOPKIN N.J. PROFESSIONAL ENGINEER, LIC. No. 40673	
SCALE:	DRAWN BY:	DATE:	JOB No.:
1" = 30'	JUL	1/17/22	19179
			SHEET No.:
			10 OF 13

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**SIMPLIFIED SOIL COMPACTION TESTING METHODS**



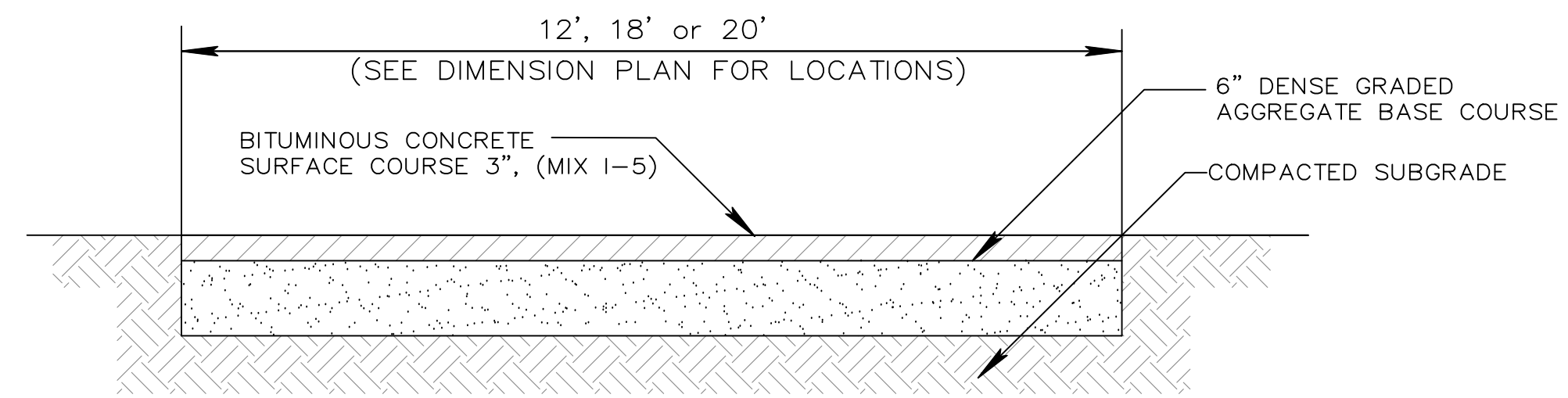
NOTE: SOIL COMPACTION TESTING LOCATIONS IDENTIFIED ARE RECOMMENDED LOCATIONS FOR GRADED/DISTURBED AREAS WITHIN THE VICINITY OF BUILDINGS AND STRUCTURES OR ON INDIVIDUAL LOTS. FOR GRADED/DISTURBED AREAS WITHIN OPEN OR COMMON SPACES, SOIL COMPACTION TESTING SHALL BE PERFORMED AT A RATE OF TWO (2) TESTS PER ACRE OF THE OVERALL LIMIT OF DISTURBANCE.

**TYPICAL SOIL COMPACTION TESTING LOCATIONS**

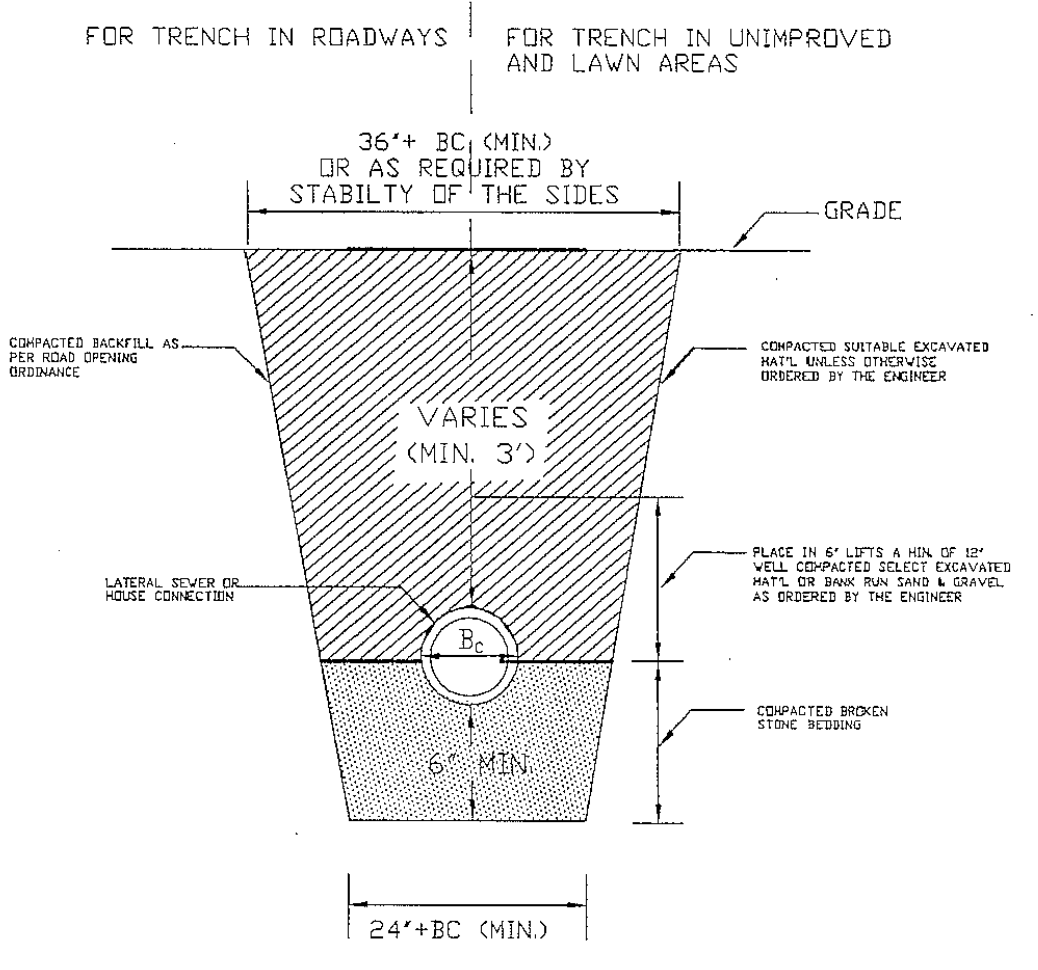
NOT TO SCALE

**SOIL DE-COMPACTION AND TESTING REQUIREMENTS**

- SOIL COMPACTION TESTING REQUIREMENTS**
  - SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE TOPSOIL SPECIFICATIONS FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
  - AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR COMPACTION MITIGATION ARE GRAPHICALLY DENOTED ON THIS SOIL EROSION AND SEDIMENT CONTROL PLAN.
  - COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. LOCATION ID'S SHALL BE USED TO COMPLETE THE COMPACTION REMEDIATION FORM AVAILABLE FOR THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO THE DISTRICT PERFORMING A REPORT OF COMPLIANCE INSPECTION.
  - IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO EITHER (1) PERFORM COMPACTION MITIGATION OVER THE ENTIRE DISTURBED AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS) OR (2) PERFORM ADDITIONAL, MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.
- SOIL COMPACTION TESTING METHODS**
  - PROBING WIRE TEST (SEE DETAIL).
  - HAND-HELD PENETROMETER TEST (SEE DETAIL).
  - TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL REQUIRED).
  - NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL REQUIRED).
  - ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.
  - DETAILED REQUIREMENTS FOR EACH COMPACTION TESTING METHOD CAN BE FOUND IN SECTION 19 "STANDARD FOR LAND GRADING" OF THE NJ STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST EDITION.
  - SOIL COMPACTION TESTING IS NOT REQUIRED IF WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.
- PROCEDURES FOR SOIL COMPACTION MITIGATION**
  - PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO THE PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
  - RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.) IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAY BE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.



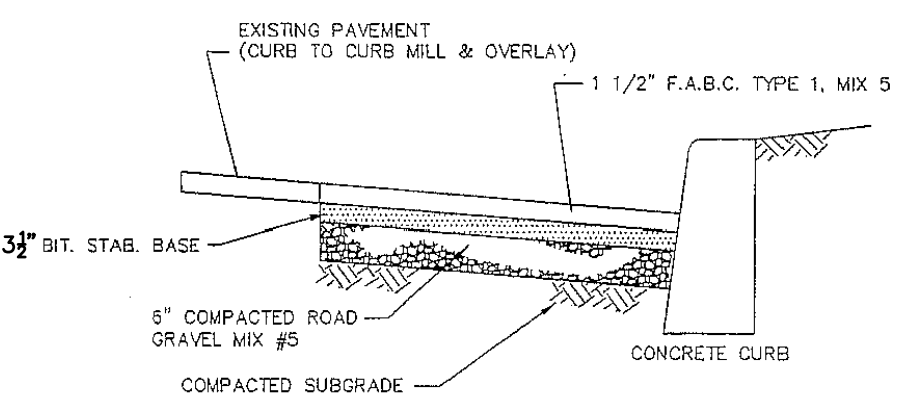
**DETAIL: TYPICAL SECTION - TYPICAL DRIVEWAY**  
NOT TO SCALE



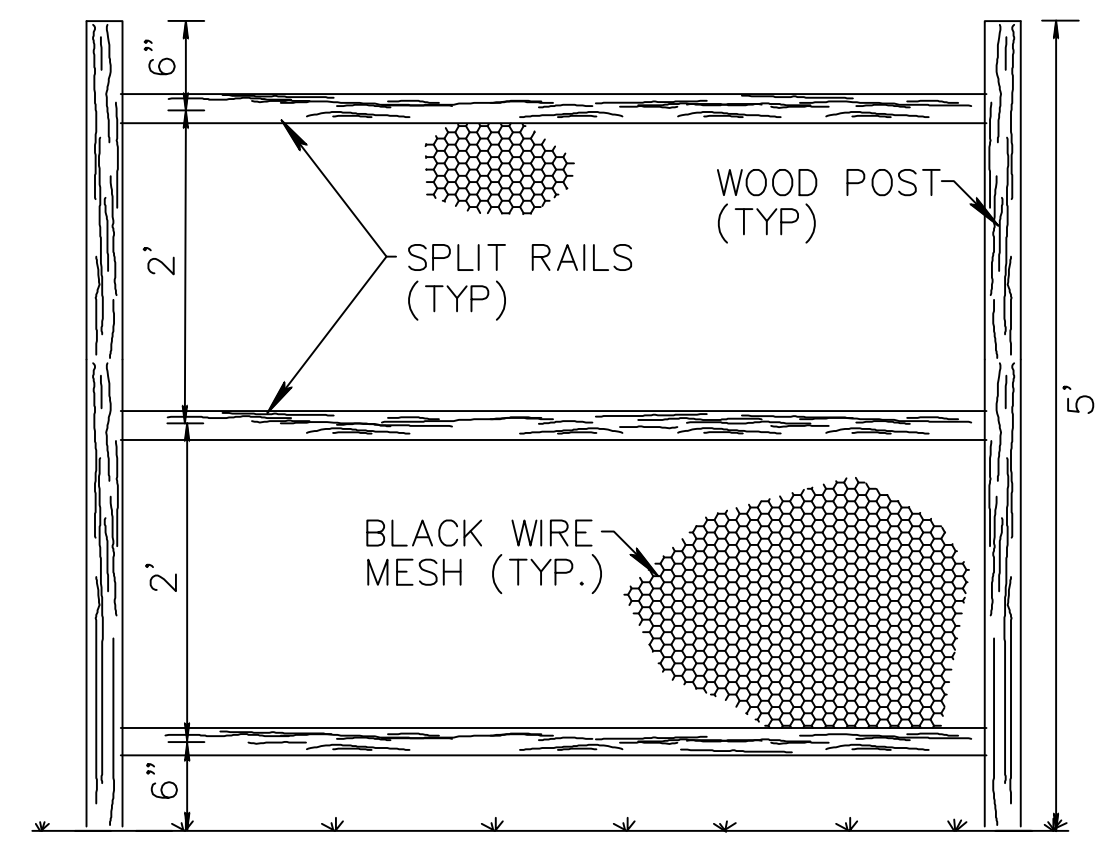
**PIPE BEDDING & BACKFILL**  
N.T.S.



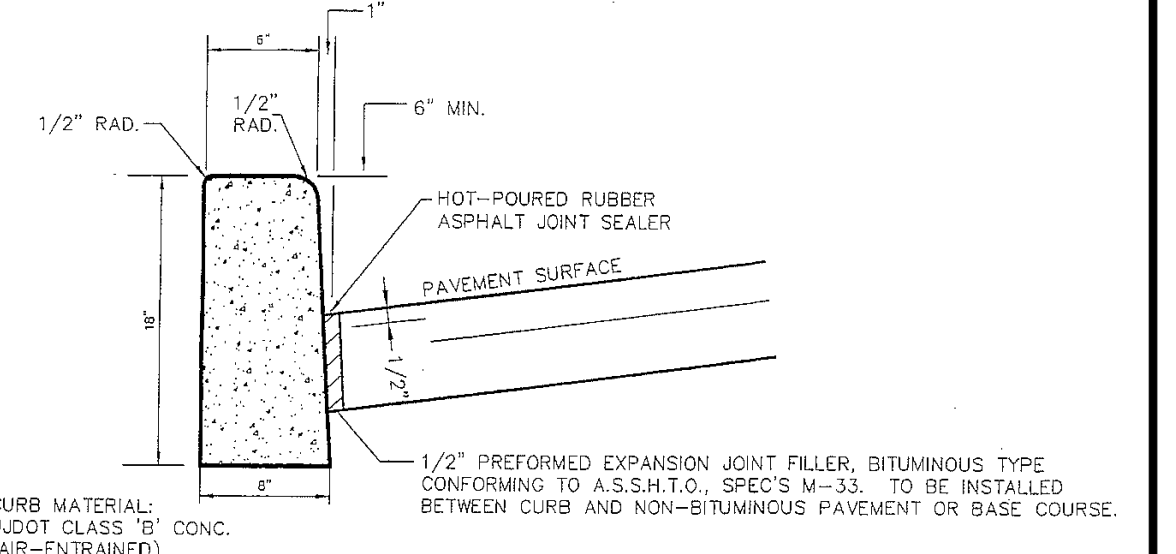
**DOG PARK DETAILS**  
N.T.S.



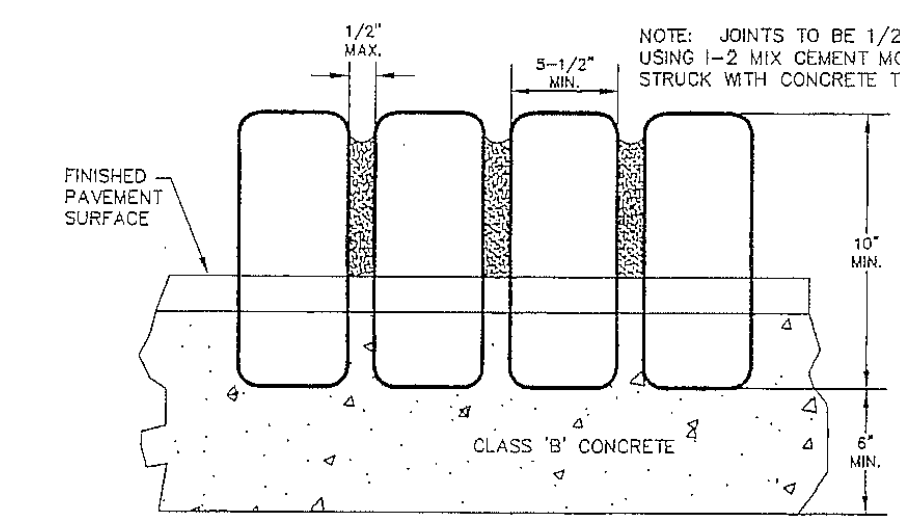
**TOWNSHIP TYPICAL PAVEMENT REPAIR SECTION**  
MICHELE BLVD.  
N.T.S.



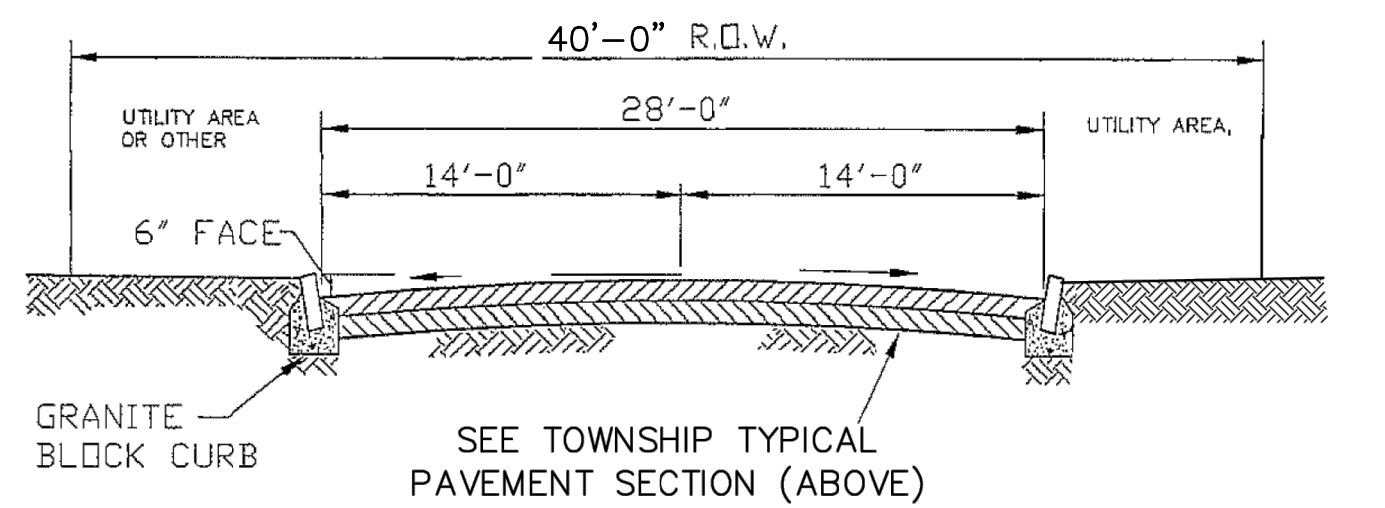
**SPLIT RAIL W/BLACK WIRE FENCE DETAIL**  
NOT TO SCALE



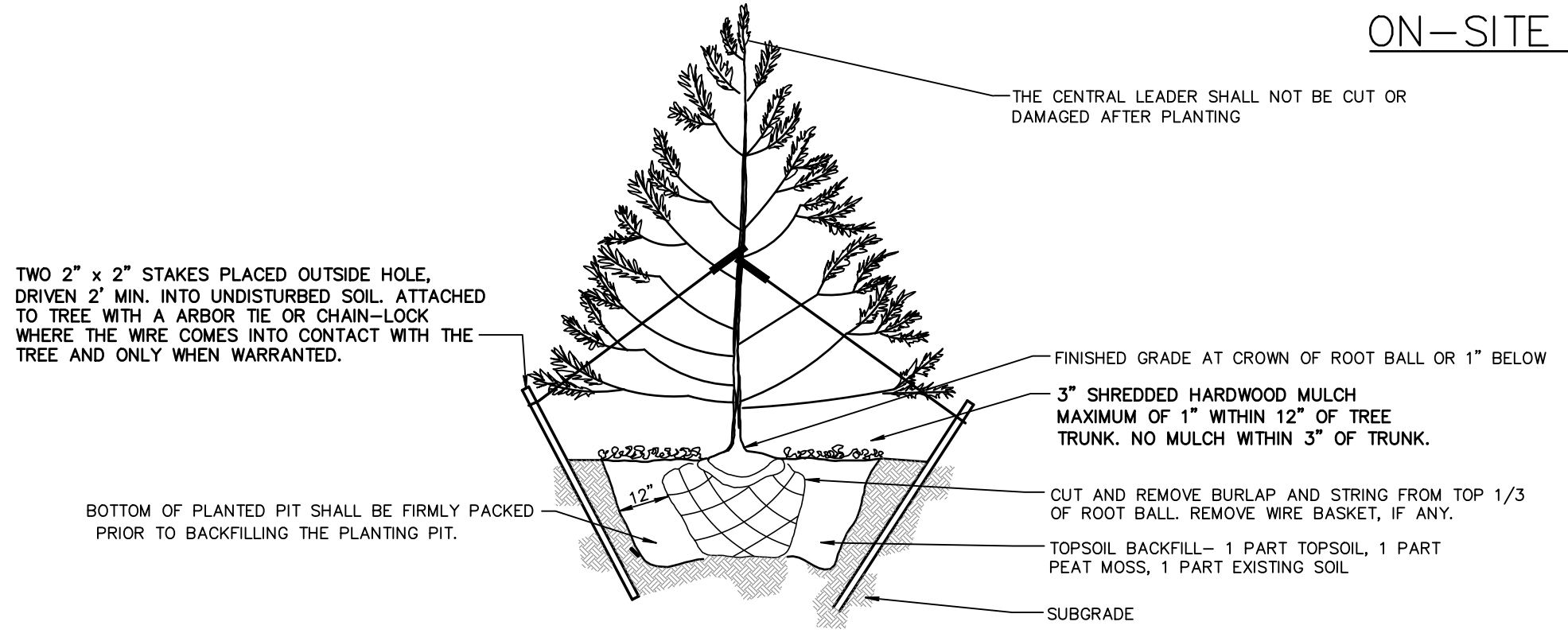
**CONCRETE VERTICAL CURB**  
N.T.S.



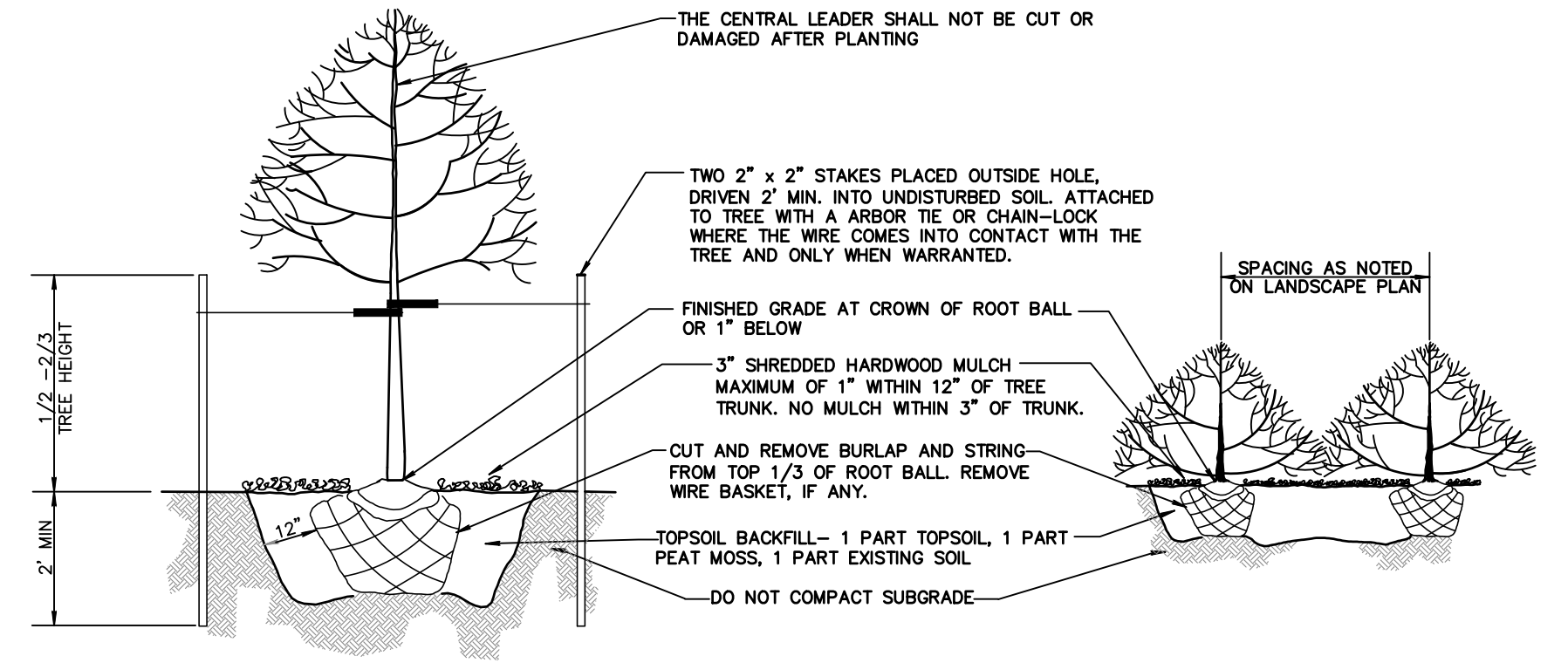
**ON-SITE BELGIAN BLOCK CURB & PAVEMENT**  
N.T.S.



**TYPICAL ROADWAY SECTION**  
N.T.S.

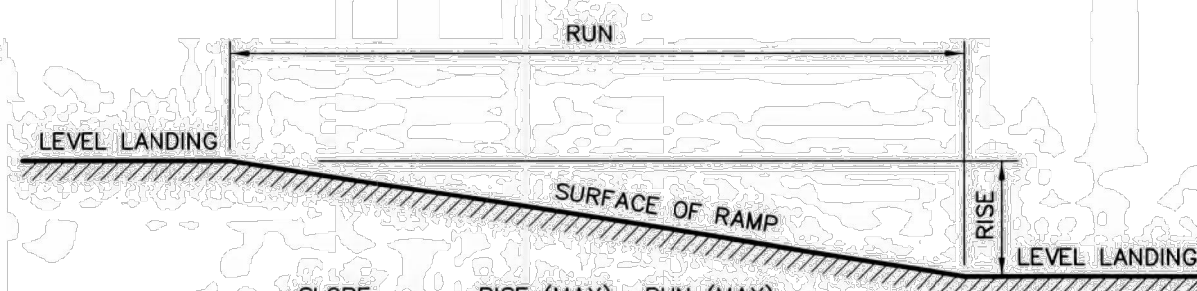


**EVERGREEN TREE PLANTING & STAKING DETAIL**  
N.T.S.



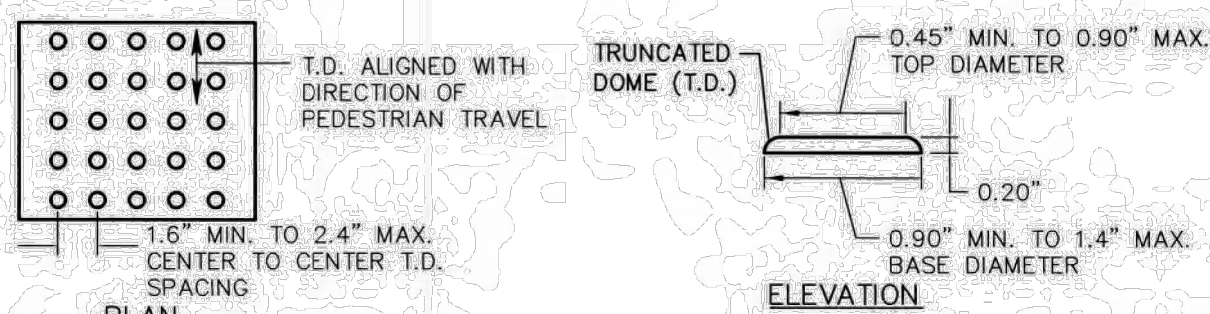
**TREE & SHRUB PLANTING & STAKING DETAIL**  
N.T.S.

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BOROUGH OF SEA BRIGHT		MONMOUTH COUNTY		NEW JERSEY
<b>WH</b> ENGINEERING	CERT. OF ALTH. NO. 24GA28117300		<b>CONSTRUCTION/SESC</b> DETAILS	
	257 MONMOUTH ROAD, BLDG. A, SUITE 7, OKAHURST, NJ 07755 PHONE: 732.223.1313		WALTER JOSEPH HOPKIN N.J. PROFESSIONAL ENGINEER, LIC. NO. 40673	
SCALE:	DRAWN BY:	DATE:	JOB NO.:	SHEET NO.:
1" = 30'	JUL	1/17/22	19179A	12 OF 13



**ADA SINGLE RAMP RUN**

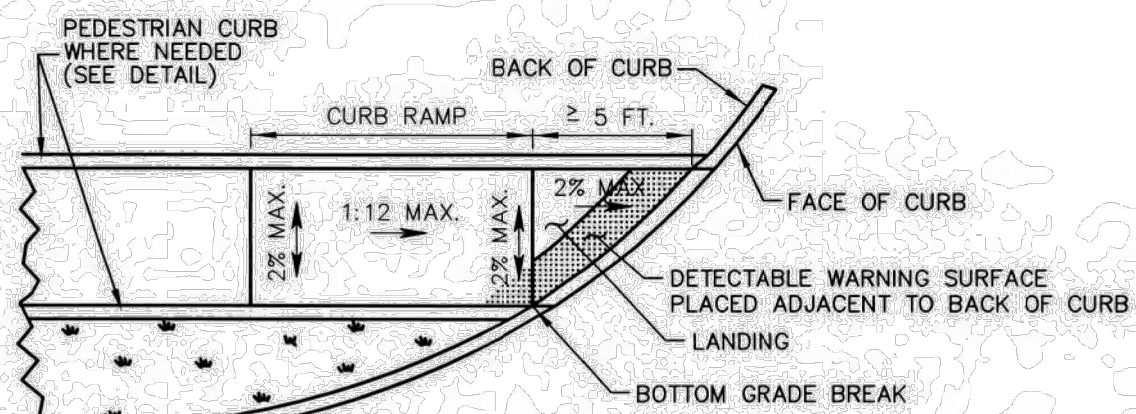
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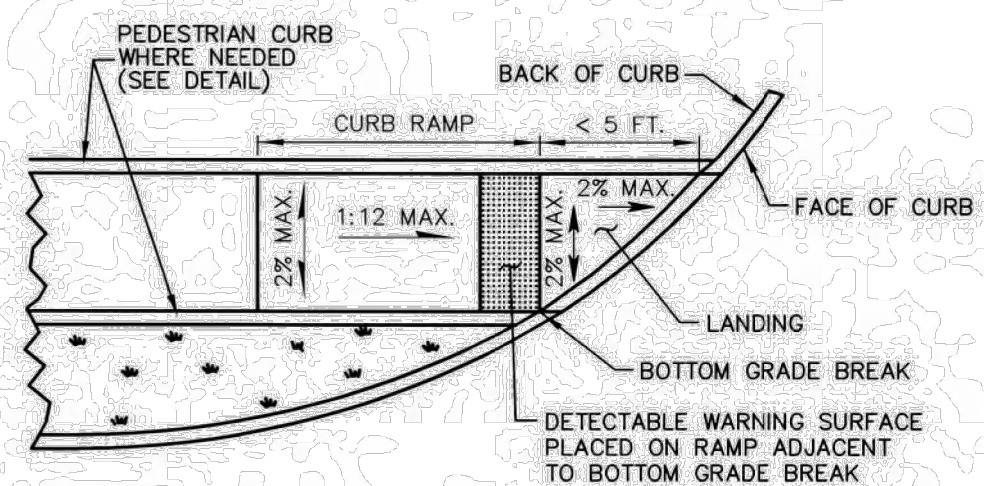
- NOTES:**
- DETECTABLE WARNING SURFACE (DWS) SHALL EXTEND FULL WIDTH OF CURB RAMP (EXCLUSIVE OF FLARES) OR FULL WIDTH OF LANDING/TURNING SPACE.
  - DWS SHALL EXTEND 2 FEET MINIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL.
  - DWS SHOULD BE COLORED AS FOLLOWS:
    - WITHIN TOWNSHIP/COUNTY RIGHT OF WAY, COLOR SHALL CONTRAST VISUALLY WITH ADJACENT SURFACES, EITHER LIGHT ON DARK OR DARK ON LIGHT, OR AS PER SPECIFIED REQUIREMENTS.
    - WITHIN STATE RIGHT OF WAY, USE A SURFACE OR A COATING MATERIAL THAT IS SAFETY RED IN COLOR ACCORDING TO FED-STP-595B COLOR CHIP NO. 31350 AND HAS A 35 BPN MINIMUM SLIP RESISTANCE WHEN TESTED ACCORDING TO ASTM R 303. ENSURE THAT THE FINISHED PRODUCT IS STABILIZED AGAINST UV DEGRADATION AND ADHERES TO THE SUBSTRATE WITHOUT PEELING OR BLISTERING.
  - TYPICALLY, DWS SHALL BE PLACED ADJACENT TO BACK OF CURB. SEE "PLACEMENT OF DETECTABLE WARNING SURFACE ON CURB RADIUS" FOR EXCEPTIONS.

**DETECTABLE WARNING SURFACE**

N.T.S.



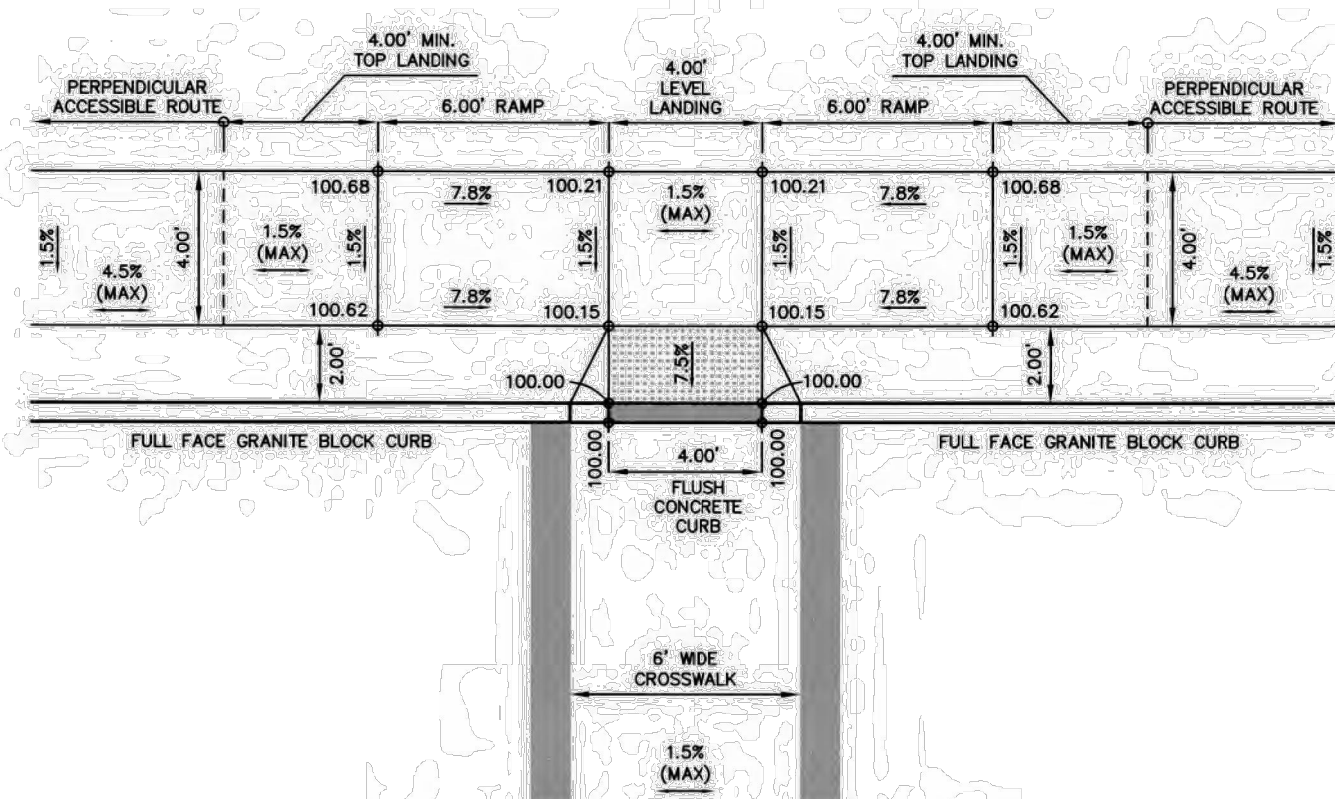
**CONDITION 1**  
FOR RAMP INTERSECTING A CURB RADIUS AT A SKEWED ANGLE WHERE AT LEAST ONE END OF BOTTOM GRADE BREAK IS GREATER THAN OR EQUAL TO 5 FEET FROM BACK OF CURB. DETECTABLE WARNING SURFACE SHALL BE PLACED ADJACENT TO BACK OF CURB.



**CONDITION 2**  
FOR RAMP INTERSECTING A CURB RADIUS AT A SKEWED ANGLE WHERE BOTH ENDS OF BOTTOM GRADE BREAK ARE LESS THAN 5 FEET FROM BACK OF CURB. DETECTABLE WARNING SURFACE SHALL BE PLACED ON THE RAMP ADJACENT TO BOTTOM GRADE BREAK.

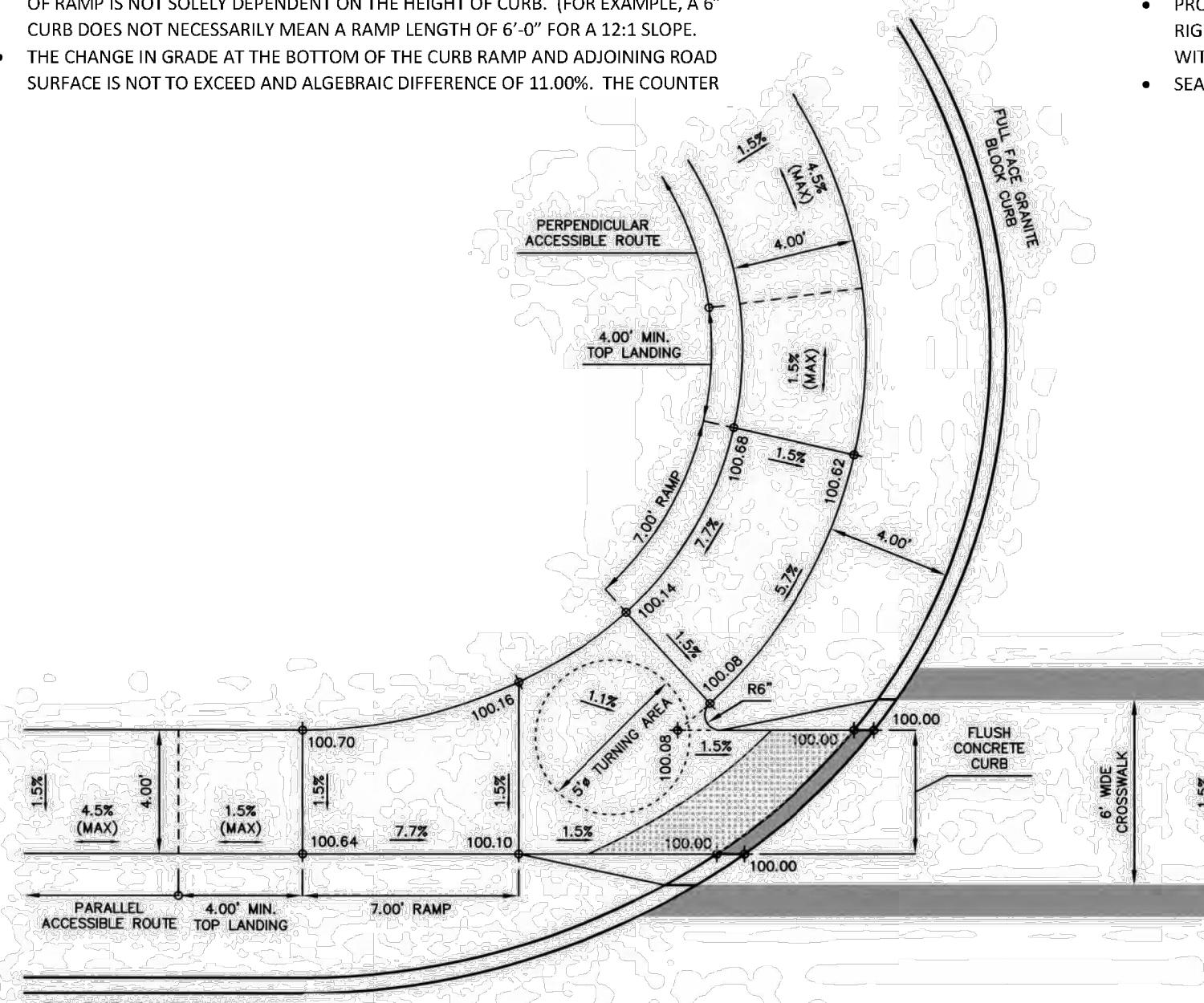
**PLACEMENT OF DETECTABLE WARNING SURFACE ON CURB RADIUS**

N.T.S.



**CURB RAMP TYPE 'B'**

N.T.S.



**CURB RAMP TYPE 'C'**

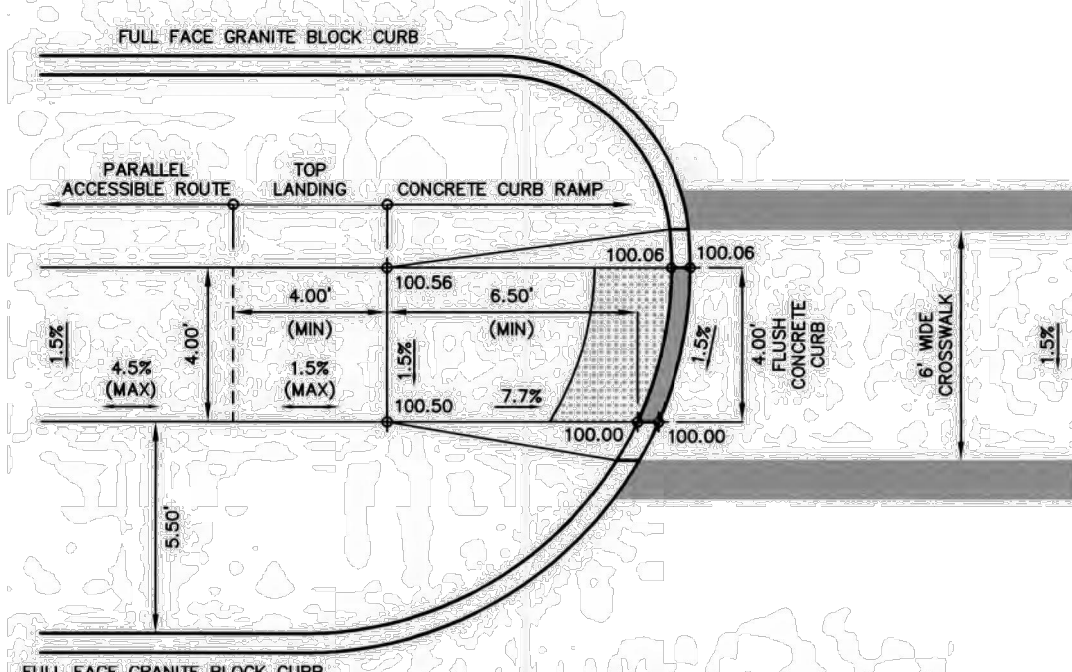
N.T.S.

**NOTES:**  
SPOT GRADES SHOWN REPRESENT TYPICAL GRADING PATTERNS. SITE SPECIFIC ELEVATIONS SHALL BE AS SHOWN ON GRADING PLANS. RAMPS AND ACCESSIBLE ROUTES SHALL ADHERE TO ALL CURRENT ADA REGULATIONS.

- PEDESTRIAN CURBS**
  - PEDESTRIAN CURBS ARE PERMITTED WHEN ADJACENT TO NON-WALK AREAS OR ELEVATION DIFFERENCES WHICH CANNOT BE ACCOMMODATED BY FLARES OR GRADING.
- CROSSWALKS**
  - FOR CURB RAMPS THAT LEAD TO A SINGLE CROSSWALK, THE RAMP (EXCLUDING FLARES) TO BE FULLY INSIDE OF MARKED CROSSWALK LINES.
  - SHOULD BE PLACED A MINIMUM DISTANCE OF 4'-0" FROM STOP AND YIELD LINES.
  - FOR UN-SIGNALIZED AREAS, CROSSWALKS SHOULD BE PLACED A MINIMUM DISTANCE OF 20'-0" AWAY FROM ON ROAD PARKING ZONES. FOR SIGNALIZED AREAS, CROSSWALKS SHOULD BE PLACED A MINIMUM DISTANCE OF 30'-0" FROM ON ROAD PARKING ZONES.
  - PEDESTRIAN CROSSWALKS ARE 6'-0" MINIMUM MEASURED FROM INSIDE THE PAINTED EDGE TO INSIDE PAINTED EDGE AND THE INSIDE LINES MUST BE OUTSIDE THE PROJECTED CURB LINES.
  - AVOID USING THE PARALLEL LINE CROSSWALK DESIGN. INSTEAD USE THE LONGITUDINAL LINES AT 6'-0" LONG AND 1'-2" WIDE WITH A SPACING OF 1'-2" APART. SPACING SHOULD BE DESIGNED SO THE PAINTED AREAS AVOID THE WHEEL PATHS.
- CURB RAMPS**
  - CONSTRUCT CURB RAMPS WITH A MINIMUM 4'-0" X 4'-0" CLEAR SPACE BEFORE THE CURB FACE, WITHIN THE WIDTH OF THE CROSSWALK.
  - SLOPES THAT EXCEED 8.00% OR CONTRACT DOCUMENTS AS APPLICABLE, WILL NOT BE ACCEPTED AND WILL BE RECONSTRUCTED.
  - PROVIDE SLIP RESISTANT TEXTURE ON CURB RAMP BY COARSE BROOMING TRANSVERSE TO THE SLOPE OF THE RAMP. EXTEND TEXTURE THE FULL WIDTH AND LENGTH OF THE CURB RAMP INCLUDING FLARED SIDE RAMPS.
  - TO AVOID CHASING GRADE INDEFINITELY WHEN TRAVERSING THE HEIGHT OF CURB, RAMP LENGTH NOT TO EXCEED 15'-0". ADJUST RAMP SLOPE AS NEEDED TO PROVIDE ACCESS TO THE MAXIMUM EXTENT FEASIBLE.
  - FOR NEW CONSTRUCTION AND ALTERATIONS, CONSTRUCT CURB RAMP AND FLARE SLOPES WITH THE FLATTEST SLOPE POSSIBLE.
  - FOR NEW CONSTRUCTION, ATTEMPT TO KEEP THE CROSS SLOPE AS FLAT AS POSSIBLE. DO NOT EXCEED 2.00% CROSS SLOPE ON THE CURB RAMP OR PEDESTRIAN ACCESSIBLE ROUTE (MEASURED PERPENDICULAR TO THE DIRECTION OF TRAVEL).
  - CURB RAMP AND SIDE FLARE LENGTHS ARE VARIABLE AND BASED ON CURB HEIGHT AND THE SIDEWALK SLOPE.
  - CURB RAMP WIDTH IS 4'-0" MINIMUM.
  - AVOID CURB RAMP DESIGNS WHERE THE WIDTH OF THE CROSSWALK WILL NEED TO BE GREATER THAN 10'-0" WIDE.
  - ALL SLOPES ARE MEASURED WITH RESPECT TO A LEVEL PLANE. THEREFORE, THE LENGTH OF RAMP IS NOT SOLELY DEPENDENT ON THE HEIGHT OF CURB. (FOR EXAMPLE, A 6" CURB DOES NOT NECESSARILY MEAN A RAMP LENGTH OF 6'-0" FOR A 12:1 SLOPE.
  - THE CHANGE IN GRADE AT THE BOTTOM OF THE CURB RAMP AND ADJOINING ROAD SURFACE IS NOT TO EXCEED AN ALGEBRAIC DIFFERENCE OF 11.00%. THE COUNTER

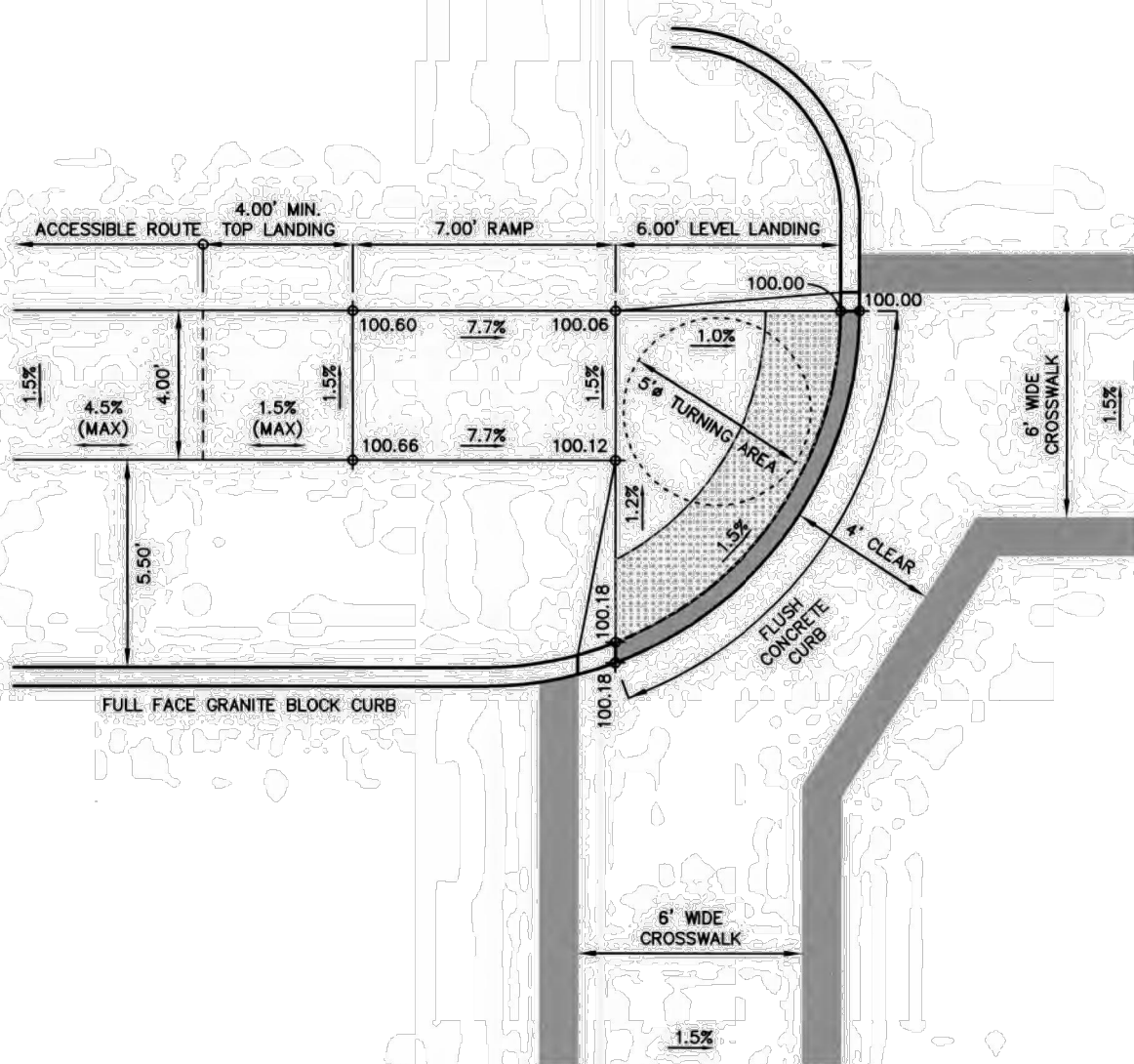
- DEPRESSED CURBS**
  - CONSTRUCT TOP OF PLAIN CEMENT CONCRETE DEPRESSED CURB TO BE FLUSH WITH ADJACENT SURFACES (RAMPS, SIDEWALKS, FLARES).
  - CONSTRUCT DEPRESSED CURB FOR CURB RAMPS FLUSH TO ADJACENT ROADWAY, GRADE EDGE OF ROAD ELEVATIONS AT THE FLOW LINE TO ENSURE POSITIVE DRAINAGE AND PREVENT PONDING. FOR LEVEL LANDINGS BEHIND DEPRESSED CURB, ADJUST SLOPES TO PROVIDE POSITIVE DRAINAGE. THE VERTICAL ALIGNMENT OF A CURB RAMP, EXCLUDING FLARES, SHALL BE PLANAR. GRADE BREAKS SHALL BE FLUSH AND PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN. RAMP TRANSITIONS BETWEEN WALKS, GUTTERS, LANDINGS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES (1/4" MAXIMUM).
  - WHEN TWO CROSSWALKS LEAD TO A SINGLE CURB RAMP, THE DEPRESSED CURB MUST EXTEND FROM THE OUTER MOST EDGE OF EACH CROSSWALK.
- DETECTABLE WARNING SURFACES**
  - NO SEPARATION BETWEEN DETECTABLE WARNING SURFACES FOR MEDIANS LESS THAN 4'-0" BETWEEN BACK OF CURBS.
  - PROVIDE DETECTABLE WARNING SURFACES (DWS) 24" MINIMUM (IN THE DIRECTION OF PEDESTRIAN TRAVEL) ACROSS FULL WIDTH OF RAMP AT THE GRADE BREAK NEAR STREET EDGE. PROVIDE DWS THAT CONTRAST VISUALLY WITH ADJACENT WALKWAY SURFACES, EITHER LIGHT ON DARK OR DARK ON LIGHT FOR THE FULL WIDTH OF RAMP.
  - ALIGN DETECTABLE WARNING SURFACE TRUNCATED DOMES ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF THE RAMP AND PERPENDICULAR TO CURB WHEN APPROPRIATE.
  - DETECTABLE WARNING SURFACES SHALL BE SAFETY RED COLOR, EXCEPT IF THE MUNICIPALITIES HAVE ESTABLISHED AN ALTERNATE COLOR SCHEME.
  - FOR TWO CROSSWALKS LEADING TO A SINGLE CURB RAMP, THE DETECTABLE WARNING SURFACE MUST BE PLACED ALONG THE ENTIRE DEPRESSED CURB AND THE DOMES MUST BE PLACED IN SUCH A WAY THAT THE DIRECTION OF TRAVEL IS ORIENTED INTO THE CROSSWALK.
- DRIVEWAYS**
  - 5.00% MAXIMUM SLOPE FOR THE DRIVEWAY APRON.
  - 1 1/2" MAXIMUM VERTICAL CHANGE IN HEIGHT BETWEEN THE ROAD SURFACE AND THE DEPRESSED CURB AT THE DRIVEWAY APRON.
- JOINTS**
  - PROVIDE EXPANSION JOINT MATERIAL 1/2" THICK WHERE CURB RAMP ADJOINS ANY RIGID PAVEMENT, SIDEWALK OR STRUCTURE WITH THE TOP OF JOINT FILLER FLUSH WITH ADJACENT CONCRETE SURFACE.
  - SEAL JOINTS WITH AN APPROVED SEALING MATERIALS

- LANDINGS (AKA TURNING SPACE)**
  - LANDING AREA, APPROACH SIDEWALK TRANSITIONS, AND CURB RAMP SHALL BE KEPT CLEAR OF OBSTRUCTIONS, UNLESS AN EXCEPTION IS GRANTED.
  - DO NOT EXCEED 2.00% SLOPE IN ALL DIRECTIONS.
  - LANDING AREA SHOULD BE 4'-0" X 4'-0" MINIMUM CLEAR SPACE. IF THE TURNING SPACE IS CONSTRAINED ON 2 OR MORE SIDES, IT MUST BE 4'X5' WITH THE 5' LENGTH ALONG THE UNOBSTRUCTED SIDE. FOR TWO CROSSWALKS LEADING TO A SINGLE CURB, THE LANDING AREA MUST HAVE A MINIMUM OF A 5'-0" DEPTH (INCLUDING THE DETECTABLE WARNING SURFACE) ALONG THE DEPRESSED CURB/ROADWAY.
  - ENGINEERING DEPARTMENT APPROVAL IS REQUIRED IF LANDING FOR TURNING MANUEVER IS NOT ON THE SIDEWALK, I.E. IF THE LANDING AREA "CLEAR SPACE" IS IN THE ROADWAY.
  - 4'X4' LANDINGS ARE REQUIRED AT EVERY ACCESSIBLE PEDESTRIAN SIGNAL/PUSHBUTTON LOCATION.
- NON-WALK SURFACES**
  - NON-WALK AREA IS AN OBSTRUCTION OR GRASS/NON-PAVED AREA ADJACENT TO THE PEDESTRIAN ACCESS ROUTE THAT IS NOT USED BY THE PEDESTRIAN FOR ACCESS.
- PEDESTRIAN PUSHBUTTONS**
  - THE DETAILS DEPICT PEDESTRIAN PUSHBUTTON POLES TO ILLUSTRATE THE RECOMMENDED PLACEMENT OF PEDESTRIAN PUSHBUTTONS. FOR ALTERATION PROJECTS, PROVIDE ACCESS TO EXISTING PEDESTRIAN PUSHBUTTONS TO THE MAXIMUM EXTENT FEASIBLE. INSTALL PEDESTRIAN STUB POLES, WHERE APPLICABLE, SO AS NOT TO CREATE PEDESTRIAN OBSTRUCTIONS.
  - NEW CONSTRUCTION MUST COMPLY WITH RECOMMENDED LOCATIONS FOR ALTERATION PROJECTS LOCATE PEDESTRIAN PUSHBUTTONS, TO THE MAXIMUM EXTENT FEASIBLE (SEE 2009 MUTCD FIG 4E-3)
  - ADJACENT TO A LEVEL NON-SLIP SURFACE TO PROVIDE ACCESS FROM A WHEELCHAIR, AND WHERE THERE IS A NON-SLIP WHEELCHAIR ACCESSIBLE ROUTE TO THE RAMP.
  - WITHIN 5'-0" OF THE CROSSWALK EXTENDED
  - BETWEEN 1'-6" AND 10'-0" OF THE EDGE OF CURB, SHOULDER OR PAVEMENT
  - PARALLEL TO THE CROSSWALK TO BE USED
  - MOUNT PEDESTRIAN PUSHBUTTON 42" ABOVE THE SIDEWALK OR FINISHED GRADE TO THE CENTER OF THE PUSHBUTTON AND 10" MAXIMUM LATERALLY FROM LANDING. IN ADDITION, THE PEDESTRIAN PUSHBUTTON MUST ALSO BE 5'-0" MINIMUM DISTANCE FROM THE CURB RAMP AND 2'-0" MINIMUM DISTANCE BETWEEN A CATCH BASIN AND THE PEDESTRIAN PUSHBUTTON.
- SIDE FLARES**
  - ALL SLOPES ARE MEASURED WITH RESPECT TO A LEVEL PLANE. THEREFORE, THE LENGTH OF RAMP IS NOT SOLELY DEPENDENT ON THE HEIGHT OF CURB. (FOR EXAMPLE, A 6" CURB DOES NOT NECESSARILY MEAN A RAMP LENGTH OF 6'-0" FOR A 12:1 SLOPE.
  - SIDE FLARES 10.00% MAXIMUM SLOPE WHERE THE PEDESTRIAN PATH CROSSED THE CURB RAMP
  - SIDE FLARES MUST BE PARALLEL TO THE CURB LINE
  - CURB RAMP AND SIDE FLARE LENGTHS ARE VARIABLE AND BASED ON CURB HEIGHT AND SIDEWALK SLOPE
  - GRADE GRASS AREA OR OTHER NON-WALK AREA AT 3:1 (1:3) MAXIMUM. DO NOT INSTALL CHEEK WALLS THAT INTERSECT THE PEDESTRIAN ACCESS ROUTE
  - SIDE FLARE WIDTH IS TYPICALLY 24" AND A MINIMUM OF 12".
- SIDEWALKS**
  - NOTE THE AREA CONSIDERED TO BE THE "PEDESTRIAN ACCESSIBLE ROUTE"
  - THE MAXIMUM SIDEWALK CROSS IS 2.00% (MEASURED PERPENDICULAR TO THE DIRECTION OF TRAVEL). THE MAXIMUM GRADE IS 5.00% FOR SIDEWALKS ALONG STREETS; HOWEVER, THE LONGITUDINAL GRADE OF THE SIDEWALK SHOULD BE CONSISTENT WITH THE GRADE OF THE ADJACENT ROADWAY. IF THE 5.00% GRADE IS NOT FEASIBLE DUE TO TOPOGRAPHY AND OTHER PHYSICAL CONSTRAINTS, THE LOWEST PRACTICAL GRADE GREATER THE 5.00% SHOULD BE USED
  - SIDEWALK WIDTH MAY BE REDUCED TO 4'-0", WHEN PASSING AREAS 5'-0" X 5'-0" ARE PROVIDED EVERY 200'.
- TRAVEL LANES**
  - THE TRAVEL LANE IS DEFINED BY THE OUTSIDE EDGE OF THE WHITE PAVEMENT MARKING LINE. IF A WHITE PAVEMENT MARKING LINE DOES NOT EXIST, THE TRAVEL LANE IS DEFINED BY THE CONTRACT DOCUMENTS.
- MODIFY CONSTRUCTION DETAILS TO ADAPT DIMENSIONS TO EXISTING CURB HEIGHTS WHERE THE CURB IS LESS OR MORE THAN THE STANDARD 6" HEIGHT.**
- CONSTRUCTION MUST MEET THE STANDARDS CONTAINED HEREIN UNLESS OTHERWISE NOTED OR DIRECTED.**
- PREFERRED AND ALTERNATE TREATMENTS SHOULD NOT BE INTERMIXED WITHIN THE SAME INTERSECTION.**
- ALL HANDICAP RAMPS CONSTRUCTED IN THIS CONTRACT SHALL MEET ACCESSIBILITY REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT.**
- THE CONTRACTOR IS REQUIRED TO CONTACT THE TRAFFIC ENGINEERING DEPARTMENT ABOUT THE CONSTRUCTION OF ALL HANDICAP CURB RAMPS AT SIGNALIZED INTERSECTIONS AND VERIFY THE STRIPING PLAN IS IN ACCORDANCE WITH THE MOST RECENT NO PASSING ZONE PLAN.**
- GRADE BREAKS**
  - GRADE BREAKS AT THE TOP AND BOTTOM OF THE CURB RAMP SHALL BE PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN.
  - GRADE BREAKS ARE NOT PERMITTED ON THE SURFACE OF RAMP RUNS OR LANDING AREAS.
  - SURFACE SLOPES THAT MEET AT THE GRADE BREAKS SHALL BE FLUSH.
- FOR NEW CONSTRUCTION AND ALTERATIONS, CONSTRUCT CURB RAMP AND FLARE SLOPES WITH THE FLATTEST SLOPE POSSIBLE.**
- ALL VERTICAL SURFACE DISCONTINUITIES SHALL NOT EXCEED 1/4" IN HEIGHT. ANY VERTICAL SURFACE DISCONTINUITY BETWEEN 1/4" AND 1/2" SHALL BE BEVELED AT A SLOPE NO GREATER THAN 50% ACROSS THE ENTIRE DISCONTINUITY.**
- HORIZONTAL OPENINGS IN GRATES AND JOINTS SHALL NOT EXCEED 1/2" IN DIAMETER AND THE GRATES SHALL BE PLACED SO THE LONG DIMENSION IS PERPENDICULAR TO THE DIRECTION OF TRAVEL.**



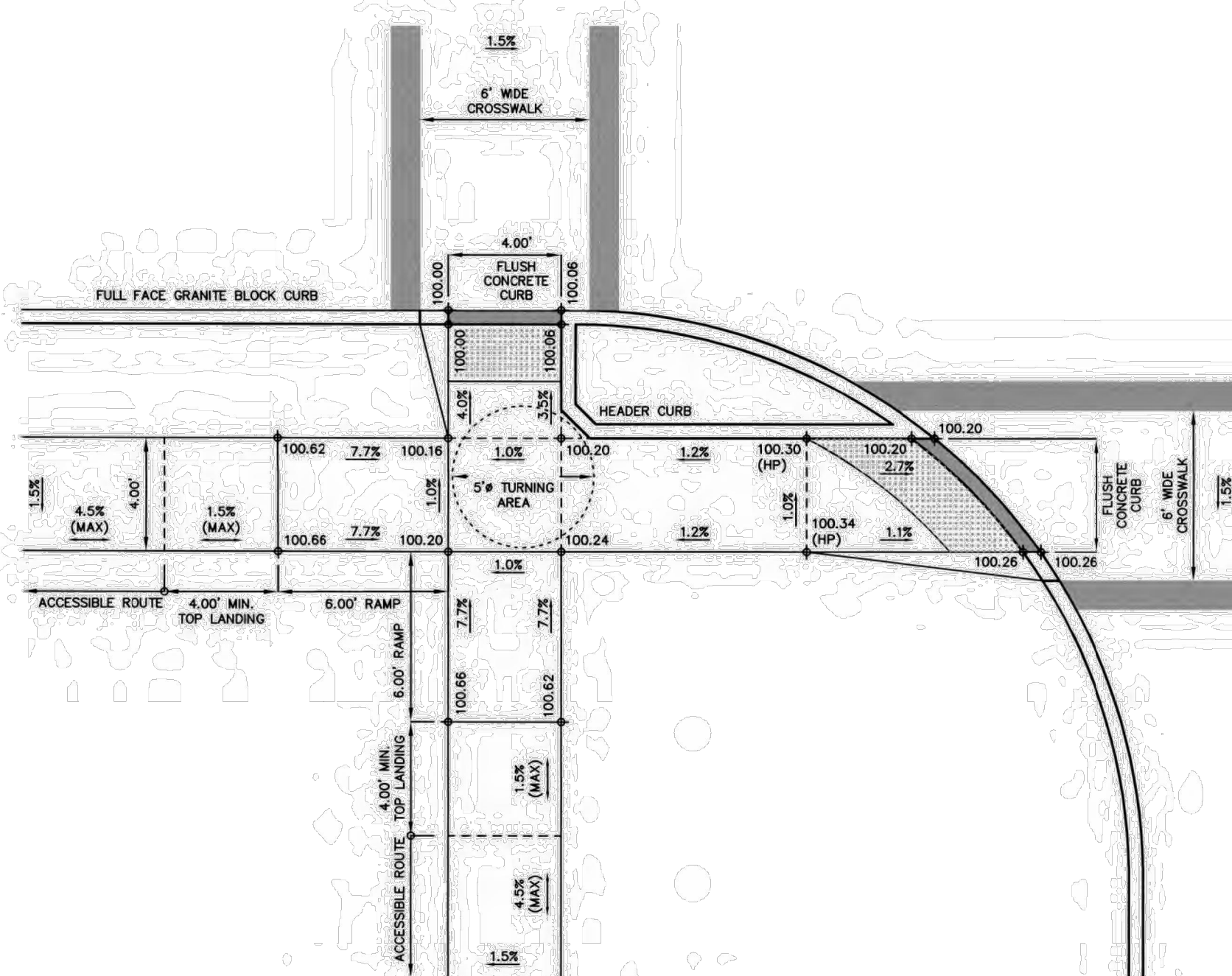
**CURB RAMP TYPE 'A'**

N.T.S.



**CURB RAMP TYPE 'D'**

N.T.S.



**CURB RAMP TYPE 'E'**

N.T.S.

CURB RAMP SLOPE REQUIREMENTS			
ITEM	DESIGN & CONSTRUCTION	CONSTRUCTION TOLERANCE	MAXIMUM ALLOWABLE (ADA STANDARDS)
<b>CURB RAMP</b>			
RUNNING SLOPE	7.8% (MAX)	0.5%	8.3% (1:12)
CROSS SLOPE	1.5% (MAX)	0.5%	2.0% (1:48)
TOP LANDING (PARALLEL ACCESSIBLE ROUTE)	1.5% (MAX)	0.5%	2.0% (1:48)
TOP LANDING (PERPENDICULAR ACCESSIBLE ROUTE)	1.5% (MAX)	0.5%	2.0% (1:48)
<b>CROSSWALK</b>			
RUNNING SLOPE	4.5% (MAX)	0.5%	5.0% (1:20)
CROSS SLOPE	1.5% (MAX)	0.5%	2.0% (1:48)
<b>ACCESSIBLE ROUTE/SIDEWALK</b>			
RUNNING SLOPE	4.5% (MAX)	0.5%	5.0% (1:20)
CROSS SLOPE	1.5% (MAX)	0.5%	2.0% (1:48)
<b>5 FOOT DIAMETER LEVEL TURNING AREA</b>			
SLOPE, ALL DIRECTIONS	1.5% (MAX)	0.5%	2.0% (1:48)

**NOTES:**  
FLUSH CURB SHALL BE PROVIDED AT BOTTOM OF ALL CURB RAMP TRANSITIONS TO PAVEMENT. ACCESSIBLE CURB RAMPS AND LANDINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL CURRENT ADA REQUIREMENTS. ACCESSIBLE ROUTES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL CURRENT ADA REQUIREMENTS.

NO.	DATE	DESCRIPTION	DRAWN BY
1	7/22/22	REVISED PURSUANT TO BOROUGH COMMENTS	KMB

**PRELIMINARY MAJOR SUBDIVISION & SITE PLAN**  
BLOCK 13 LOTS 13-18, 20, 21  
BLOCK 14 LOTS 12, 14  
BLOCK 15 LOTS 5-12  
BOROUGH OF SEA BRIGHT MONMOUTH COUNTY NEW JERSEY

	CERT. OF AUTH. NO. 24GA28117300 257 MONMOUTH ROAD, BLDG. A, SUITE 7, OAKHURST, NJ 07795 PHONE: 732-225-1313 WWW.WHENGINEERING.COM	<b>A.D.A. NOTES &amp; DETAILS</b>  <b>WALTER JOSEPH HOPKIN</b> N.J. PROFESSIONAL ENGINEER, LIC. NO. 40673
	SCALE: 1" = 30' DRAWN BY: JUL DATE: 1/17/22 JOB No.: 19179A SHEET No.: 13 OF 13	

W:\Projects\19179A - Town of Sea Bright\19179A - Demolition\DWG\Design Drawings\1-13\_DETALS.dwg 7/29/2022 11:25:09 AM

# SOUTH SHREWSBURY RIVER



SEE SHEET 2 OF 2 FOR CONTINUATION

## ZONING TABLE



THE INTERIOR MONUMENTS SHOWN ON THIS MAP SHALL BE SET WITHIN AN APPROPRIATE TIME LIMIT AS PROVIDED FOR IN THE MUNICIPAL LAND USE LAW P.L. 1975, c.291 (C-40:550-1, 4, 6, 9) OR LOCAL ORDINANCE, I CERTIFY THAT A BOND HAS BEEN GIVEN TO THE MUNICIPALITY, GUARANTEEING THE FUTURE SETTING OF THE MONUMENT SHOWN ON THIS MAP AND SO DESIGNATED.

BOROUGH CLERK \_\_\_\_\_ DATE \_\_\_\_\_

THIS IS TO CERTIFY THAT WE ARE THE OWNERS OF RECORD OF THE PREMISES SHOWN HEREON AND AGREE TO THE FILING OF THIS SUBDIVISION IN THE MONMOUTH COUNTY CLERK'S OFFICE.

OWNER \_\_\_\_\_ DATE \_\_\_\_\_

ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021

NOTARY \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_ SEAL \_\_\_\_\_

THIS IS TO CERTIFY THAT THE PLANNING BOARD OF THE BOROUGH OF SEA BRIGHT IS THE PROPER AUTHORITY TO APPROVE AND HAS APPROVED THIS MAP, THIS MAP OR A DEED CLEARLY DESCRIBING THIS SUBDIVISION SHALL BE FILED IN OCEAN COUNTY CLERK'S OFFICE ON OR BEFORE \_\_\_\_\_ WHICH DATE IS 95 DAYS FROM THE DATE OF SIGNING OF THE PLAT.

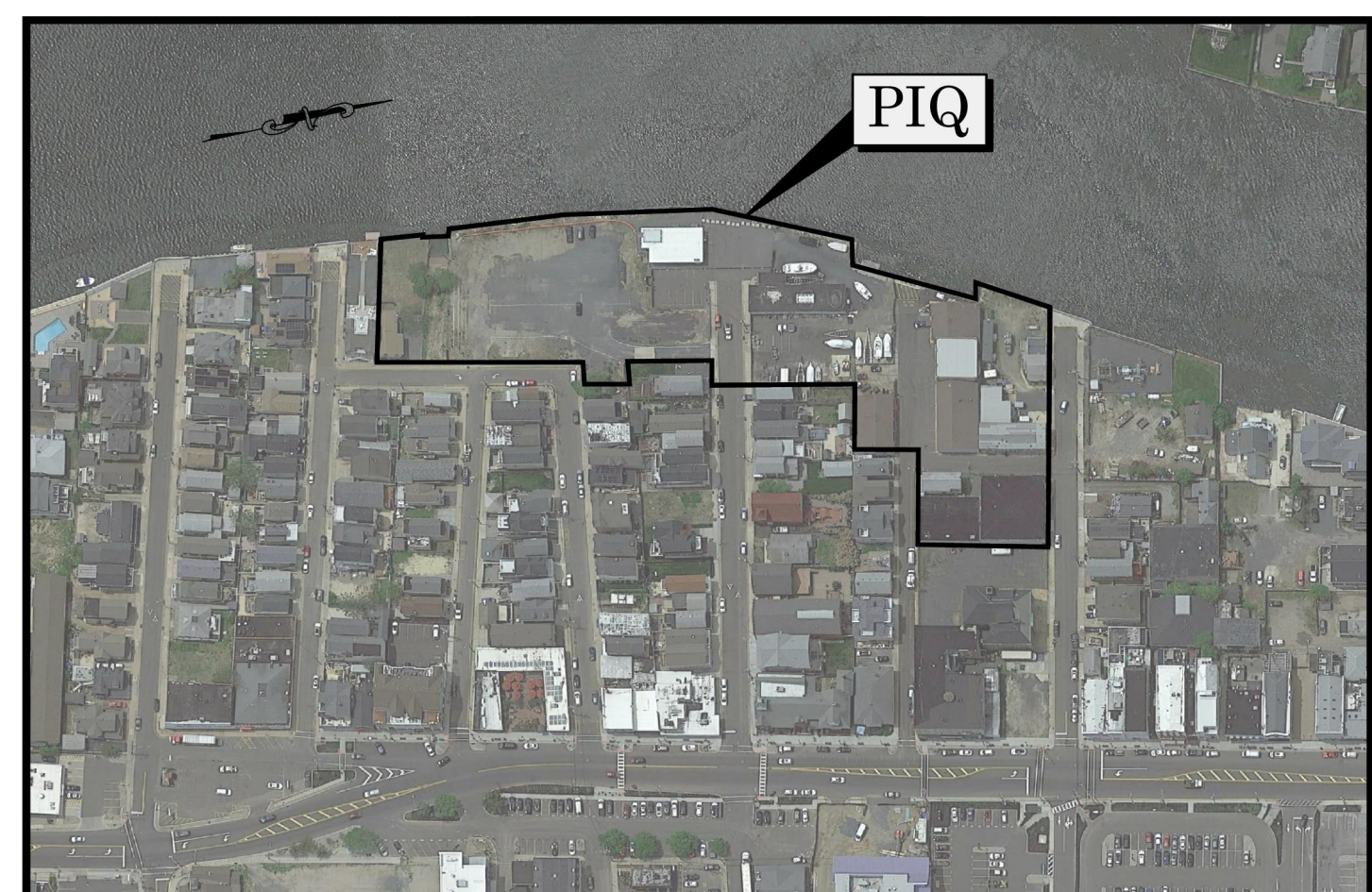
SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED AS A MAJOR SUBDIVISION BY THE PLANNING BOARD OF THE BOROUGH OF SEA BRIGHT ON \_\_\_\_\_ 2021 BY RESOLUTION NO. \_\_\_\_\_

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_ SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF FIND IT CONFORMS WITH THE "REGISTRATION LAW", RESOLUTION OF APPROVAL AND MUNICIPAL ORDINANCES AND REQUIREMENTS APPLICABLE THERE TO.

BOROUGH ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_



**KEY MAP**  
SCALE: 1" = 200' ±

Description	BULK AND MASSING				Notes
	Single Family	MP Townhouse	MP Condo		
Lot Size	2,275 SF	2,534 SF	900 SF	1,543 SF	10,000 SF
Lot Frontage	32.5 FT	32.5 FT	20 FT	20 FT	120 FT
Lot Depth	35 FT	37.33 FT	20 FT	20 FT	50 FT
Lot Area	80,125 SF	96,417 SF	400 SF	3,086 SF	13,889 SF
Building Footprint	20 FT	20 FT	20 FT	20 FT	20 FT
Building Height	35 FT	35 FT	35 FT	35 FT	35 FT
Building Height - Other Elements	35 FT	35 FT	35 FT	35 FT	35 FT
Maximum Mezzanine Size	150 Sq Ft	150 Sq Ft	150 Sq Ft	150 Sq Ft	150 Sq Ft
Minimum Unit/Building	1 Unit	1 Unit	1 Unit	1 Unit	1 Unit
Wall Separation	5 FT	5 FT	5 FT	5 FT	5 FT
Front Wall to Curb	5 FT	5 FT	5 FT	5 FT	5 FT
Front Wall to Rear Wall	20 FT	20 FT	20 FT	20 FT	20 FT
Front to End	20 FT	20 FT	20 FT	20 FT	20 FT
Front to Front	20 FT	20 FT	20 FT	20 FT	20 FT
Side to Side	5 FT	5 FT	5 FT	5 FT	5 FT
End to End	5 FT	5 FT	5 FT	5 FT	5 FT
End to Rear	5 FT	5 FT	5 FT	5 FT	5 FT
Rear to Rear	5 FT	5 FT	5 FT	5 FT	5 FT
Wall to Curb Line - Side	5 FT	5 FT	5 FT	5 FT	5 FT
Wall to Property Line	5 FT	5 FT	5 FT	5 FT	5 FT
Front Wall to Parking	5 FT	5 FT	5 FT	5 FT	5 FT
Tract					
Tract Size for Redevelopment	2.66 Acres	2.66 Acres			
Tract Open Space	35%	35%			
Tract Impervious Coverage	65%	65%			

AFFIDAVIT REGARDING ACCEPTANCE OF ROADWAY

TOWNSHIP CLERK \_\_\_\_\_ DATE \_\_\_\_\_

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND "SECONDARY TOPOGRAPHIC SURVEY" DATED 2000X MEETS THE MINIMUM SURVEY DETAIL REQUIREMENTS, WITH OUTBOUND CORNERS MARKED, AS ORIGINATED BY THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND HAS BEEN MADE UNDER MY SUPERVISION AND COMPLIES WITH THE PROVISIONS OF "THE MAP FILING LAW" AND THAT THE OUTBOUND CORNER MARKERS AS SHOWN HAVE BEEN FOUND OR SET.

I CERTIFY THAT THIS MAP HAS BEEN MADE UNDER MY SUPERVISION AND COMPLIES WITH APPLICABLE SECTIONS OF TITLE 46 OF THE REVISED STATUTES (N.J.S.A. 46:26A-1 THROUGH N.J.S.A. 46:26B-8 ET SEQ)

THE INFORMATION SHOWN HEREON CORRECTLY REPRESENTS THE CONDITIONS FOUND AS OF THE DATE OF THE FIELD SURVEY, EXCEPT SUCH IMPROVEMENTS OR EASEMENTS, IF ANY, BELOW THE SURFACE AND NOT VISIBLE.

PETER P. BENNETT III - N.J. PROFESSIONAL LAND SURVEYOR, LIC. No. 246504065100

- LEGEND**
- CV - GAS VALVE
  - WV - WATER VALVE
  - W - WATER WELL
  - U - UTILITY MANHOLE
  - D - DRAINAGE MANHOLE
  - E - ELECTRICAL MANHOLE
  - S - SANITARY MANHOLE
  - TM - TELEPHONE MANHOLE
  - ST - STREET SIGN
  - TL - TRAFFIC SIGN
  - LP - LIGHT POST
  - GL - GROUND LIGHT
  - UL - UTILITY POLE
  - FR - FIRE HYDRANT
  - DI (A) - DRAINAGE INLET (TYPE "A")
  - DI (B) - DRAINAGE INLET (TYPE "B")
  - DI (E) - DRAINAGE INLET (TYPE "E")
  - DL - DRAINAGE LINE
  - EL - ELECTRIC LINE
  - GL - GAS LINE
  - SSL - SANITARY SEWER LINE
  - TL - TELEPHONE LINE
  - WL - WATER LINE
  - OW - OVERHEAD WIRES
  - MB - MONITORING WIRE
  - IF - IRON/ALUMINUM PIPE FOUND
  - IF - IRON BAR FOUND
  - CM - CONCRETE MONUMENT FOUND
  - TR - TRAFFIC SIGN (2 POST)
  - ST - STREET SIGN
  - LG - LIGHT SIGN
  - GP - GROUND LIGHT
  - UP - UTILITY POLE
  - FD - FIRE HYDRANT
  - DI (A) - DRAINAGE INLET (TYPE "A")
  - DI (B) - DRAINAGE INLET (TYPE "B")
  - DI (E) - DRAINAGE INLET (TYPE "E")

NO.	DATE	REVISIONS PURSUANT TO BOROUGH COMMENTS	DRAWN BY
1	7/22/22		KMB

**PRELIMINARY MAJOR SUBDIVISION & SITE PLAN**  
BLOCK 13 LOTS 13-18, 20, 21  
BLOCK 14 LOTS 12, 14  
BLOCK 15 LOTS 5-12

BOROUGH OF SEA BRIGHT MONMOUTH COUNTY NEW JERSEY

**WH ENGINEERING**  
CERT. OF AUTH. NO. 246A28117300  
257 MONMOUTH ROAD, BLDG. A, STE. 7, OAKHURST, NJ 07755, PHONE: 732-229-1313  
WWW.WHENGINEERING.COM

**PRELIMINARY PLAT**

PETER P. BENNETT III  
N.J. PROFESSIONAL LAND SURVEYOR, LIC. No. 40651

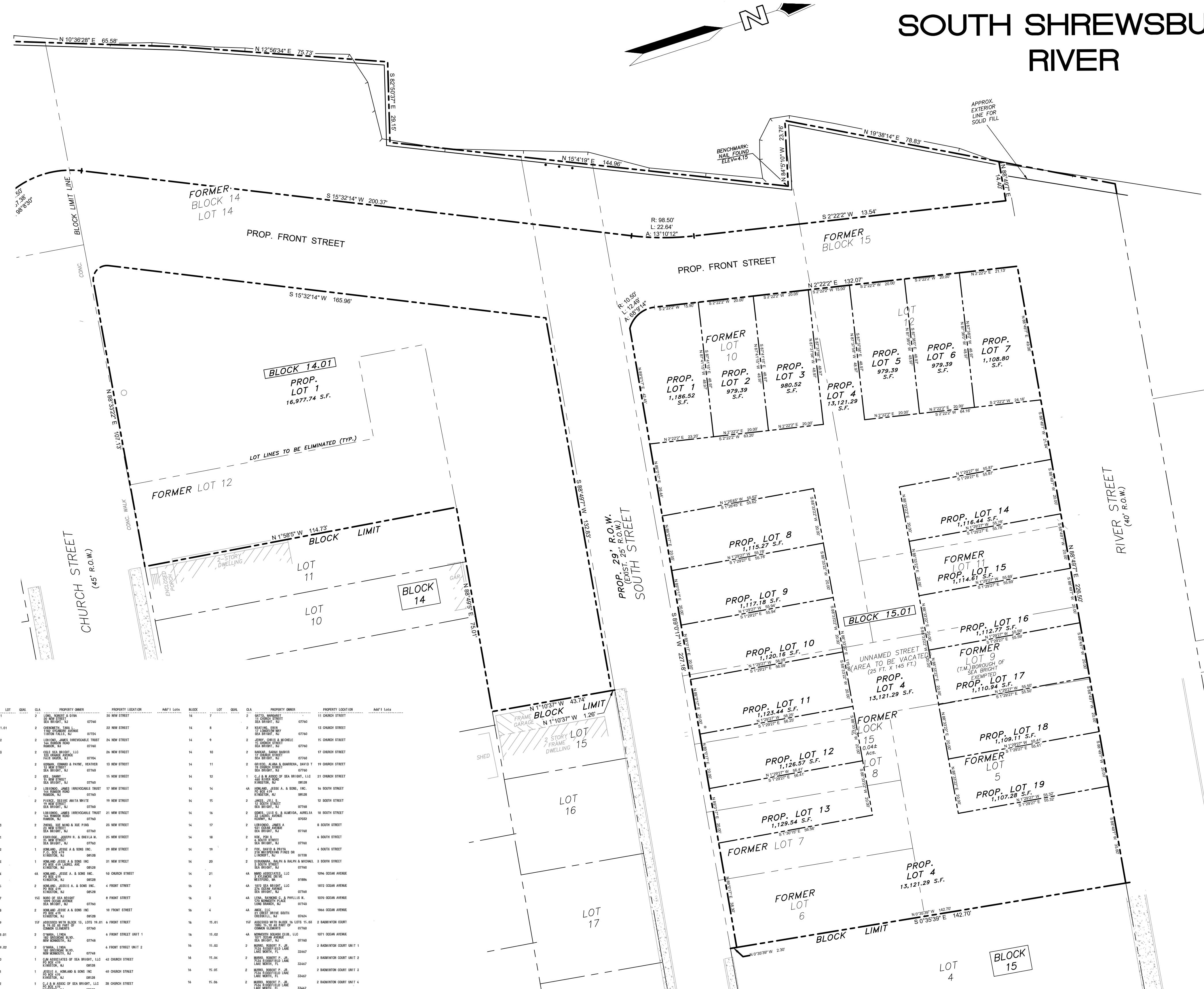
*Peter P. Bennett III*

SCALE: 1" = 20'  
DRAWN BY: JUL DATE: 1/17/22 JOB No.: 19179A SHEET No.: 1 OF 2

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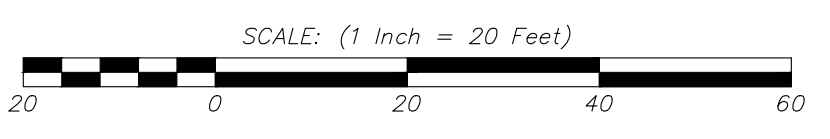
# SOUTH SHREWSBURY RIVER

SEE SHEET 1 OF 2 FOR CONTINUATION



### 200' ADJOINING OWNERS

BLK	LOT	OWNER	BLK	LOT	OWNER	BLK	LOT	OWNER
10	11	...	10	12	...	10	13	...
10	14	...	10	15	...	10	16	...
10	17	...	10	18	...	10	19	...
10	20	...	10	21	...	10	22	...
10	23	...	10	24	...	10	25	...
10	26	...	10	27	...	10	28	...
10	29	...	10	30	...	10	31	...
10	32	...	10	33	...	10	34	...
10	35	...	10	36	...	10	37	...
10	38	...	10	39	...	10	40	...
10	41	...	10	42	...	10	43	...
10	44	...	10	45	...	10	46	...
10	47	...	10	48	...	10	49	...
10	50	...	10	51	...	10	52	...
10	53	...	10	54	...	10	55	...
10	56	...	10	57	...	10	58	...
10	59	...	10	60	...	10	61	...
10	62	...	10	63	...	10	64	...
10	65	...	10	66	...	10	67	...
10	68	...	10	69	...	10	70	...
10	71	...	10	72	...	10	73	...
10	74	...	10	75	...	10	76	...
10	77	...	10	78	...	10	79	...
10	80	...	10	81	...	10	82	...
10	83	...	10	84	...	10	85	...
10	86	...	10	87	...	10	88	...
10	89	...	10	90	...	10	91	...
10	92	...	10	93	...	10	94	...
10	95	...	10	96	...	10	97	...
10	98	...	10	99	...	10	100	...



#### LEGEND

	—	DRAINAGE LINE
	—	ELECTRIC LINE
	—	GAS LINE
	—	SANITARY SEWER LINE
	—	TELEPHONE LINE
	—	WATER LINE
	—	OVERHEAD WIRES
	—	IRON/ALUMINUM PIPE FOUND
	—	CONCRETE MONUMENT FOUND
	—	IRON BAR FOUND
	—	MONITORING WELL
	—	UTILITY POLE
	—	GAS METER
	—	DEPRESSED CURB
	—	FLUSH CURB

NO.	DATE	REVISED PURSUANT TO BOROUGH COMMENTS				KMB			
<b>PRELIMINARY MAJOR SUBDIVISION &amp; SITE PLAN</b> BLOCK 13 LOTS 13-18, 20, 21 BLOCK 14 LOTS 12, 14 BLOCK 15 LOTS 5-12 BOROUGH OF SEA BRIGHT      MONMOUTH COUNTY      NEW JERSEY									
		CERT. OF AUTH. NO. 24GA28117300 257 MONMOUTH ROAD, BLDG. A, STE. 7 OAKHURST, NJ 07755 PHONE: 732-229-1313 WWW.WJENGINEERING.COM		<b>PRELIMINARY PLAT</b>  PETER P. BENNETT III N.J. PROFESSIONAL LAND SURVEYOR, LIC. NO. 40651 					
SCALE: 1" = 20'	DRAWN BY: JUL	DATE: 1/17/22	JOB NO.: 19179A	SHEET NO.: 2 OF 2					