

proposed two family dwelling for

11 CHURCH ST ASSOCIATES LLC

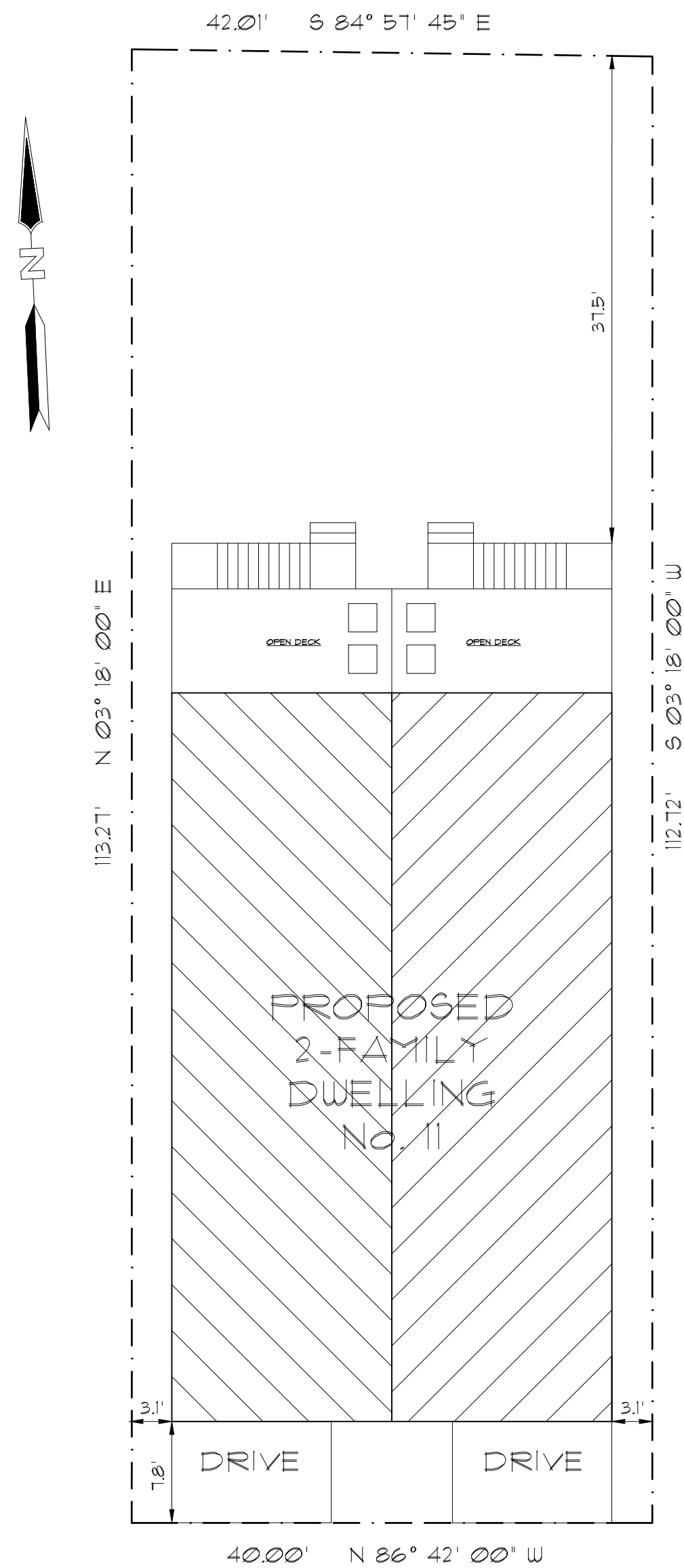
11 CHURCH STREET
SEABRIGHT, NEW JERSEY
BLOCK 14 ~ LOT 7

ZONING DATA (R-3)			
ITEM	REQUIRED	PROPOSED	NOTES
MINIMUM LOT AREA	1,200 SQ. FT.	4,520 SQ. FT.	
MINIMUM LOT FRONTAGE	25 FT.	40 FT.	
MINIMUM LOT DEPTH	60 FT.	112.12 FT.	
PRINCIPAL BUILDING			
MINIMUM FRONT SETBACK	6.9 FT. (AVERAGE)	7.8 FT.	AVERAGE FRONT SETBACK
MINIMUM REAR SETBACK	15 FT.	31.5 FT.	
MINIMUM SIDE SETBACK (ONE/BOTH)	3/6 FT.	3.1/6.2 FT.	
MAX. BUILDING HEIGHT (STORIES/FT.)	2.5/38 FT.	2.5/36 FT.	
MAXIMUM BUILDING COVERAGE	50 %	41.9 %	
MAXIMUM LOT COVERAGE	70 %	69.5 %	
MINIMUM GROSS FLOOR AREA	880 SF	2,006	PER UNIT

*38' HEIGHT ALLOWED IF HOUSE IS CONSTRUCTED 2' MIN ABOVE REQUIRED FLOOD ELEVATION

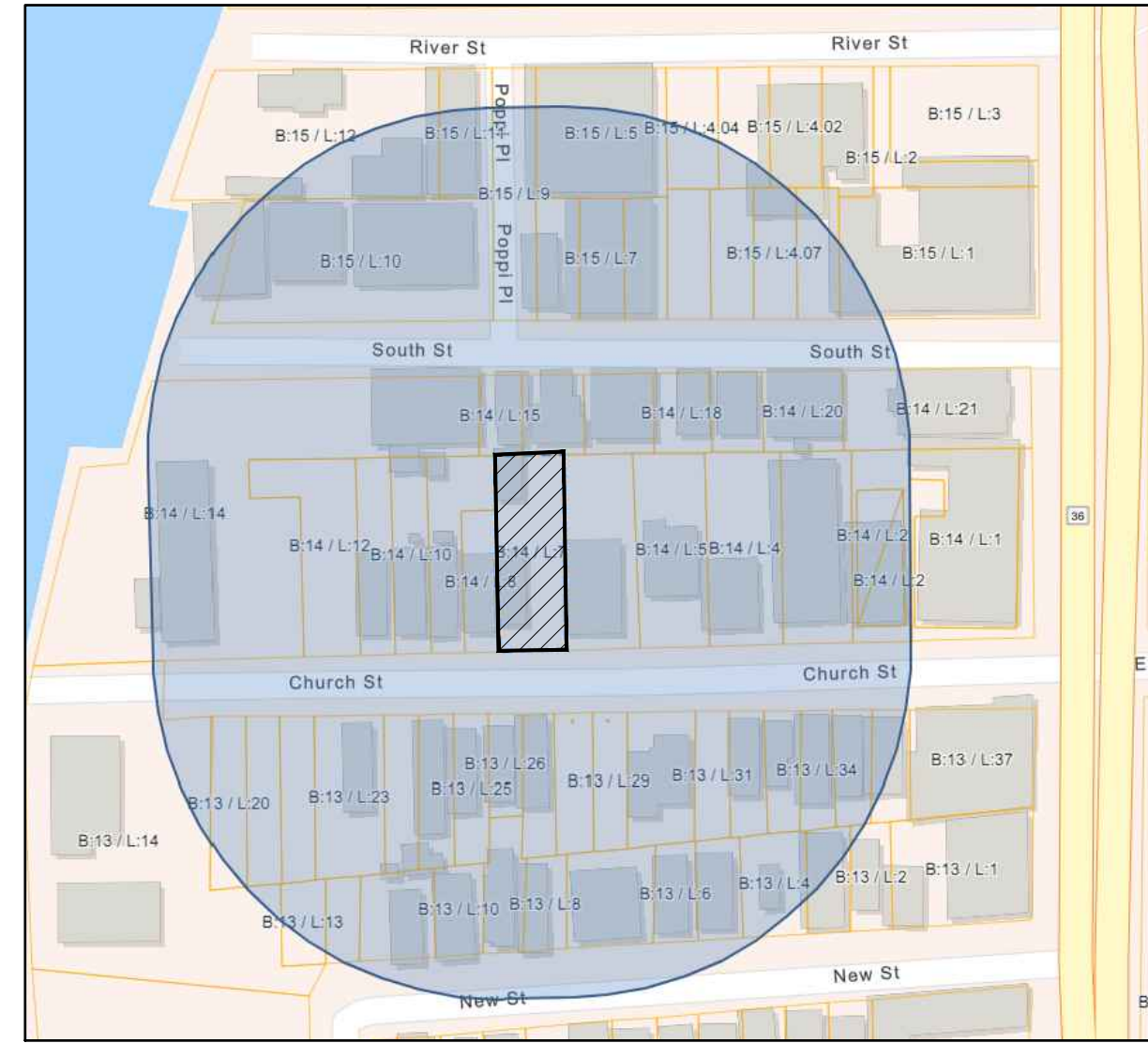
BUILDING DEPARTMENT DATA		
	UNIT No 1	UNIT No 2
HABITABLE SPACES		
FIRST FLOOR	845 SQ. FT.	845 SQ. FT.
SECOND FLOOR	845 SQ. FT.	845 SQ. FT.
FINISHED ATTIC	316 SQ. FT.	316 SQ. FT.
TOTAL	2,006 SQ. FT.	2,006 SQ. FT.
VOLUME	66,893 Cu Ft.	
CONSTRUCTION CLASS	5A	
USE GROUP	R-5	

* NOTE: SQUARE FOOTAGE DATA NOT TO BE USED FOR CALCULATING CONSTRUCTION COSTS



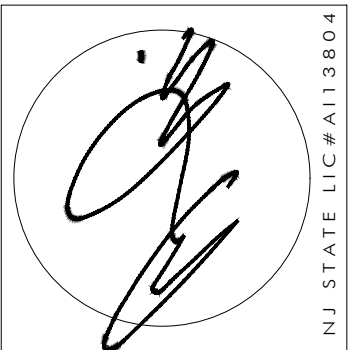
SITE PLAN
SCALE: 1" = 10'-0"

INFORMATION SHOWN ON THIS PLAN IS BASED ON SURVEY DONE BY JOSEPH F. VINCE, N.J. P.L.S. LIC. NO. GB 42588 OF SCHWANEIED, HALS & VINCE PARSIPPANY, NJ DATED 7/17/24.



200 FEET MAP
SCALE: N.T.S.

AVERAGE SETBACK CHART	
ADDRESS	FRONT SETBACK
3 CHURCH STREET	1.2 FT
5 CHURCH STREET	0.7 FT
7 CHURCH STREET	2.1 FT
9 CHURCH STREET	2.5 FT
11 CHURCH STREET	---
13 CHURCH STREET	8.4 FT
15 CHURCH STREET	3.0 FT
17 CHURCH STREET	4.5 FT
19 CHURCH STREET	10.5 FT
21 CHURCH STREET	10.2 FT
AVERAGE SETBACK	6.9 FT



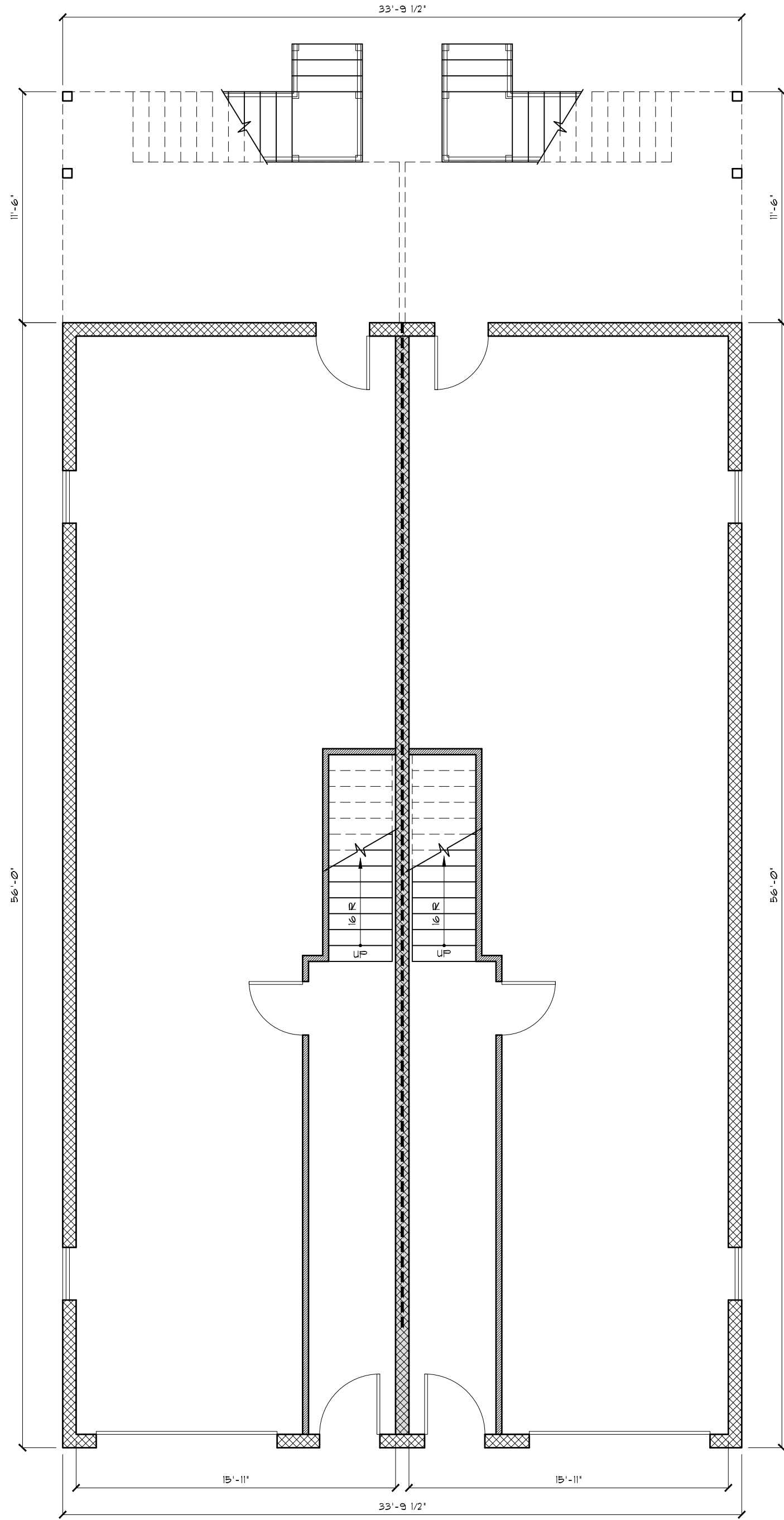
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REVISIONS	DATE
Δ	8/27/24
Δ	UPDATE AVERAGE SETBACK

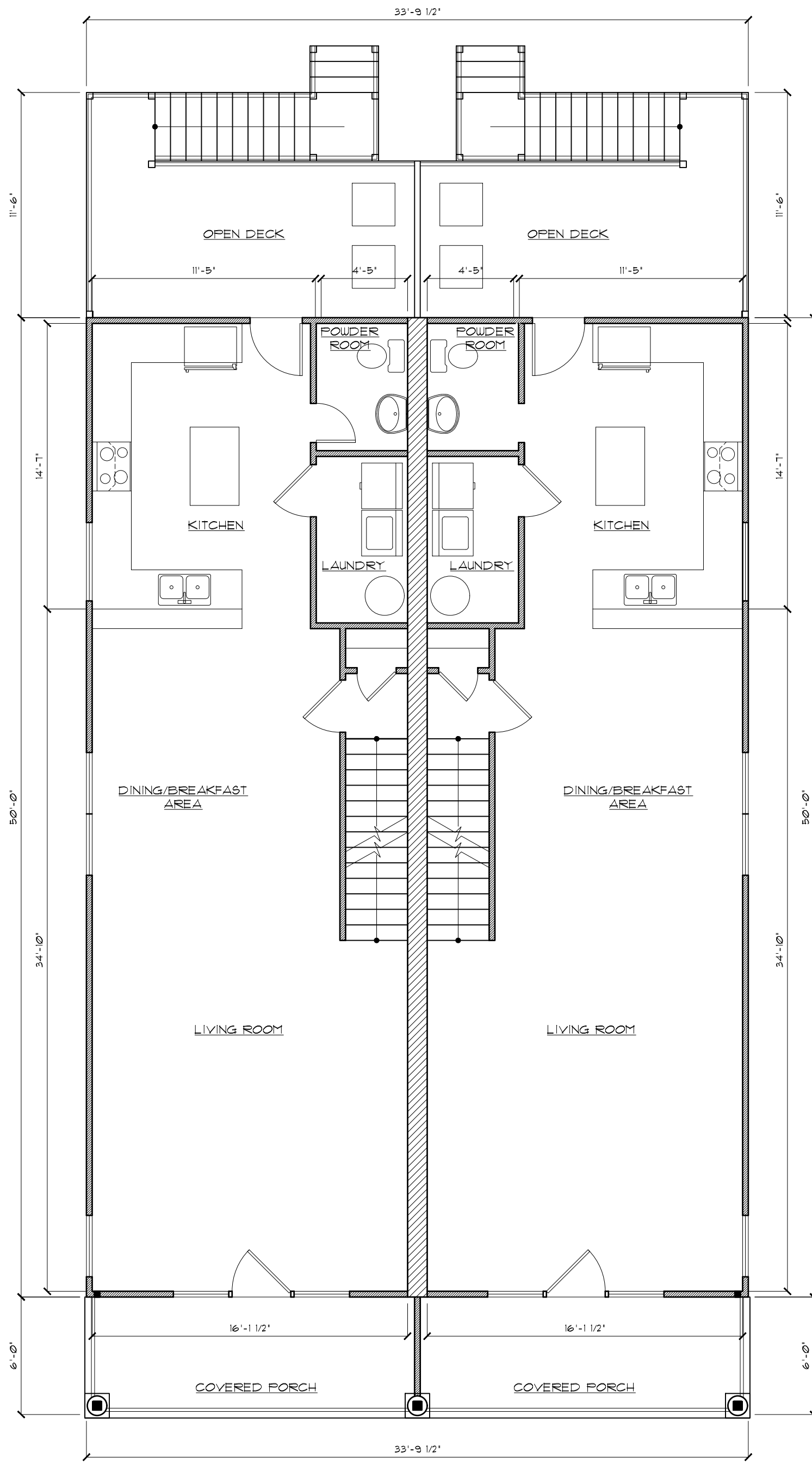
CLIENT	11 CHURCH ST ASSOC. LLC
ADDRESS	11 CHURCH STREET SEABRIGHT, NEW JERSEY
JOB NUMBER	24-093
BLOCK	14
LOT	7

DATE
07/19/24
DRAWN BY
JM
SHEET NO.
V-1

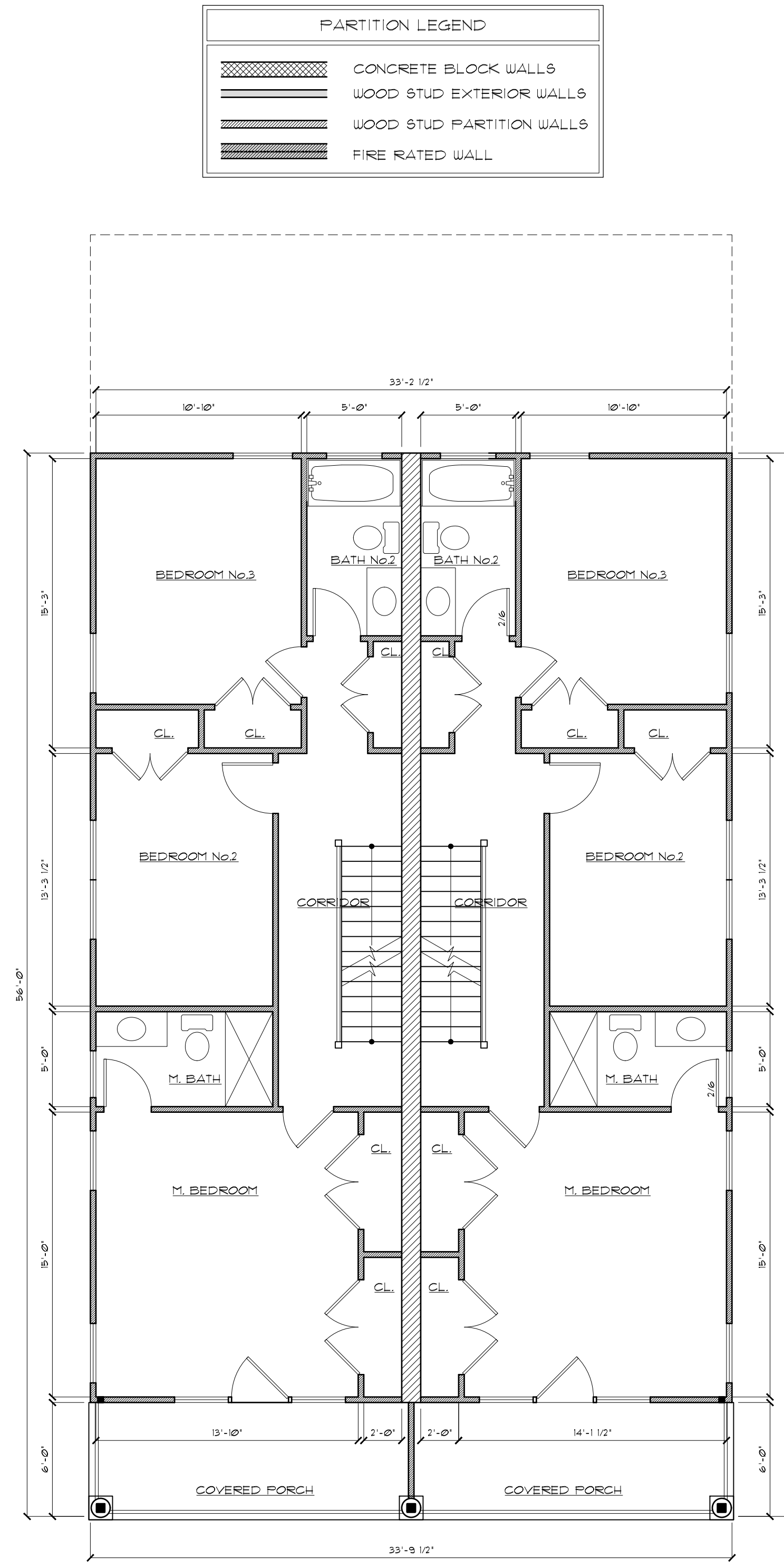
ARCHITECT IMMEDIATELY OF ANY
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TION OF WORK.



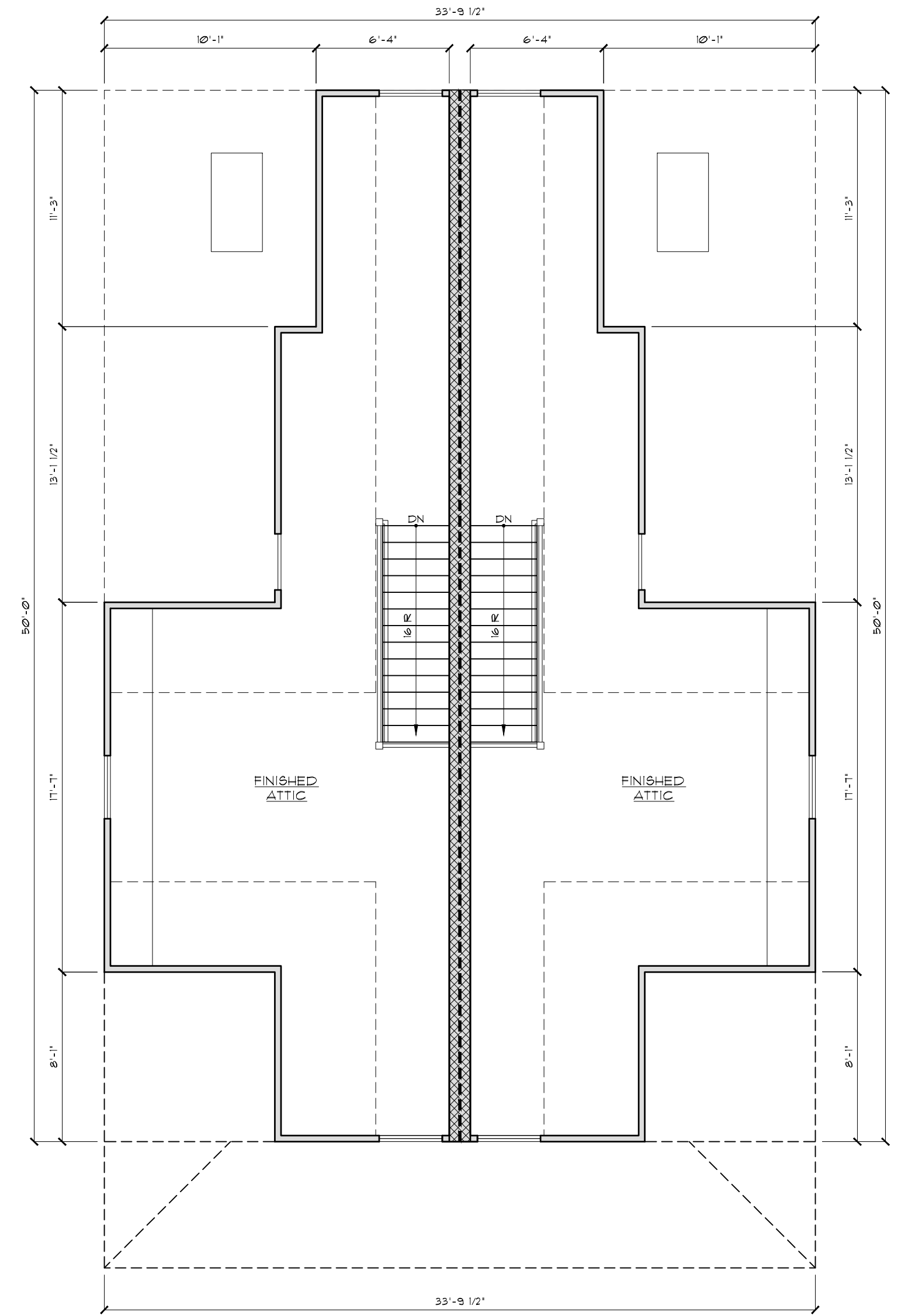
GROUND LEVEL PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



ATTIC PLAN
SCALE: 1/4" = 1'-0"

PARTITION LEGEND	
	CONCRETE BLOCK WALLS
	WOOD STUD EXTERIOR WALLS
	WOOD STUD PARTITION WALLS
	FIRE RATED WALL

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REVISIONS	DATE
Δ	8/21/24
Δ	UPDATE AVERAGE SETBACK

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LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



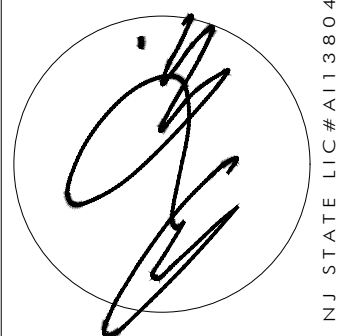
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



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REVISIONS	DATE
Δ	8/21/24
Δ	UPDATE AVERAGE SETBACK

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SHEET NO.	V-3

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