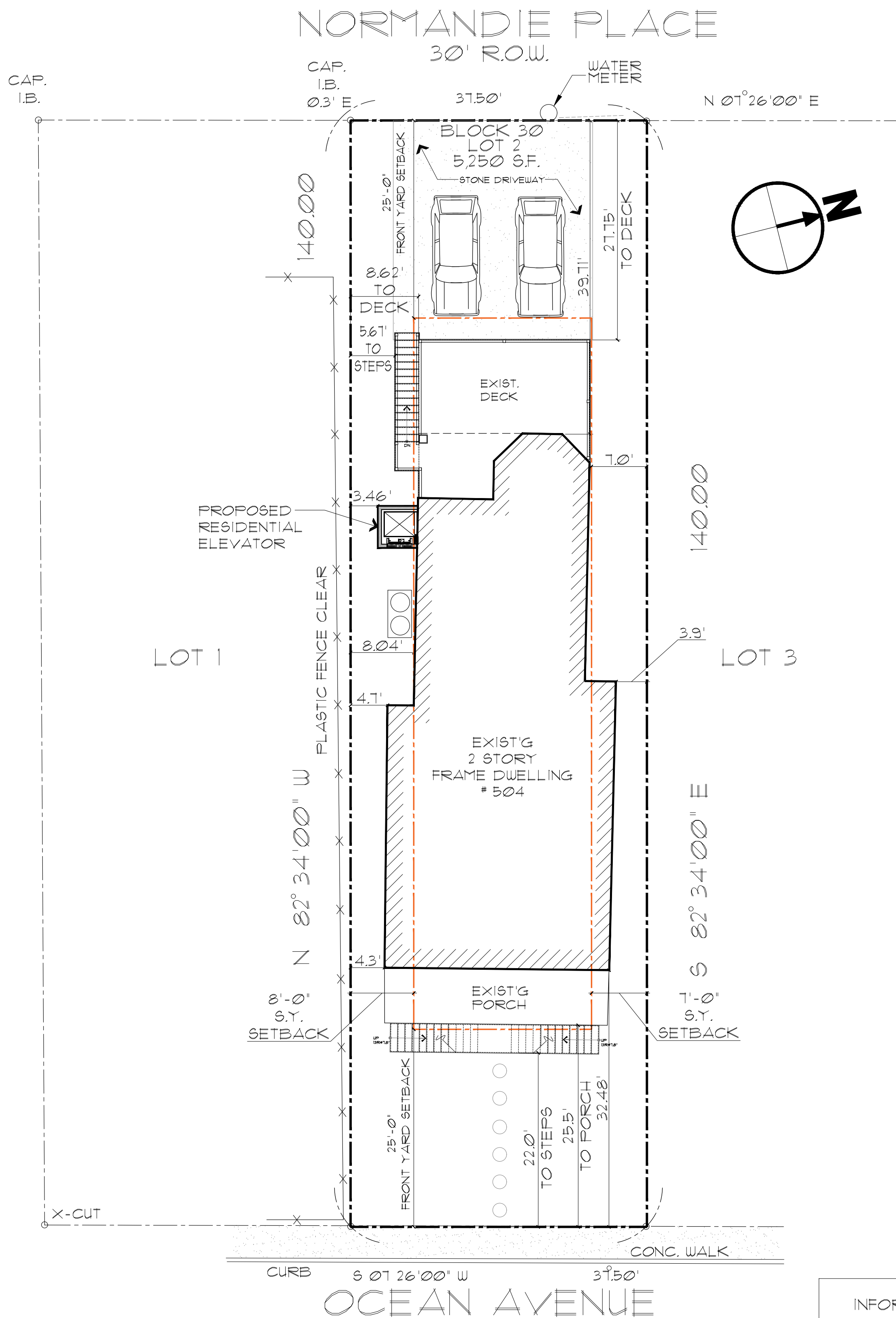


BEACHWAY
50' ROW.



1 SITE PLAN
SCALE: 1" = 10'-0"

INFORMATION ON SITE PLAN OBTAINED FROM
A SURVEY PREPARED BY:
SENECA SURVEY CO., INC.
SURVEYORS AND PLANNERS
1470 ROUTE N^O. 88 WEST
BRICK, NEW JERSEY 08724 (732)840-8040
ROBERT W. SMITH, JR.
PROFESSIONAL LAND SURVEYOR LIC. NO. 023934
DATED: 04/11/2018

ZONING & CONSTRUCTION DATA			
BLOCK 30 LOT 2 ZONE R-2	DESIGN GROUP CONSTRUCTION CLASS CLIMATE ZONE WIND ZONE	R-5 TYPE VB 110 ML/HR	DESIGN LOADS: (SHALL MEET OR EXCEED THE REQUIRED OF SECTION R301.1.) FLOORS: 40 PSF LIVE LOAD 10 PSF DEAD LOAD ROOF: 30 PSF LIVE LOAD 10 PSF DEAD LOAD
	REQUIRED	EXISTING	PROPOSED ADDITION/DECK
LOT AREA	4,000 SQ. FT.	5,250 SQ. FT.	NO CHANGE
LOT WIDTH (FRONTAGE)	50 FT.	31'-6" FT. ** NON-CONF.	NO CHANGE
LOT DEPTH	60 FT.	140 FT.	NO CHANGE
PRINCIPLE BUILDING			
MIN. FRONT YARD	25 FT.	32.48 FT.	22.0 FT TO PORCH STEPS 25.5 FT TO PORCH
MIN. FRONT YARD	25 FT.	33.0 FT. TO DECK STAIRS	21.15 FT. TO DECK
MIN. SIDE YARD	7 FT. (1 SIDE), 15 FT. (2 SIDES)	4.3 FT./3.9 FT. ** NON-CONF.	3.46 FT. * ELEVATOR/1.36 FT.
MAX. BLDG. HEIGHT	2 1/2 STORIES OR 30 FT. (UNDERSIZED LOT)	30.3 FT. FROM AVG. GRADE	34.0 FT. FROM AVG. GRADE
MAX. LOT COVERAGE	MAX. 10%	3,033 / 5,250 = 57.7 %	3,060 / 5,250 = 58.2 %
MAX. PRINC. BUILDING COVERAGE	MAX. 50%	2,163 / 5,250 = 41.2 %	2,190 / 5,250 = 41.7 %
MIN. GFA (TOTAL SQ. FT.)	MIN. 880 SQ. FT.	3,244 SQ. FT.	3,298 SQ. FT.
NOTES: ** INDICATES PRE-EXISTING NONCONFORMING CONDITION * INDICATES PROPOSED NONCONFORMING CONDITION			

LOT COVERAGES	EXISTING	PROPOSED
PRINCIPAL BLDG	1,612 SQ. FT.	1,639 SQ. FT.
STONE DRIVEWAY	100 SQ. FT.	NO CHANGE
DECKS/PORCHES/STEPS	121 SQ. FT.	NO CHANGE
TOTAL	3,033 SQ. FT.	3,060 SQ. FT.
TOTAL / 5,250 SQ. FT.	57.7 %	58.2 %

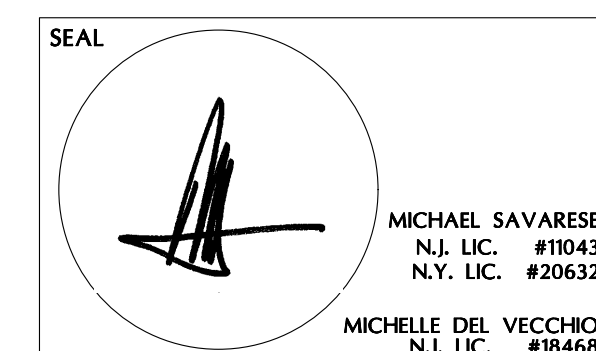
FLOOD ZONE INFORMATION	
FLOOD ZONE	AE (VEL 9)
FEMA ADVISORY BFE	+3 FT. (NAVD88)
FIRM BFE (INSURANCE MAP)	+6 FT. (NAVD88)
SEA BRIGHT ORD. (FEMA BFE + 2' FT)	+8 FT. + 3 FT. = +11 FT.
EXIST'G ELEV. OF FIN. 1ST FLR	+11.3 FT.
PROPOSED ELEV. OF FIN. 1ST FLR	+16.05 FT.

IMPERVIOUS COVERAGE CALCULATION			
	EXISTING	NEW	TOTAL
HOUSE	1,612 SF	27 SF	1,639 SF
COVERED REAR DECK	352 SF	-	352 SF
COVERED FRONT PORCH	199 SF	-	199 SF
TOTAL BUILDING COVERAGE	2,163 SF	27 SF	2,190 SF
DRIVEWAY	100 SF	-	100 SF
OPEN PORCH/STEPS	156 SF	-	156 SF
STEP PAD	14 SF	-	14 SF
TOTAL IMPERVIOUS COVERAGE	870 SF		870 SF
TOTAL LOT COVERAGE	3,033 SF	27 SF	3,060 SF

PULTORAK RESIDENCE

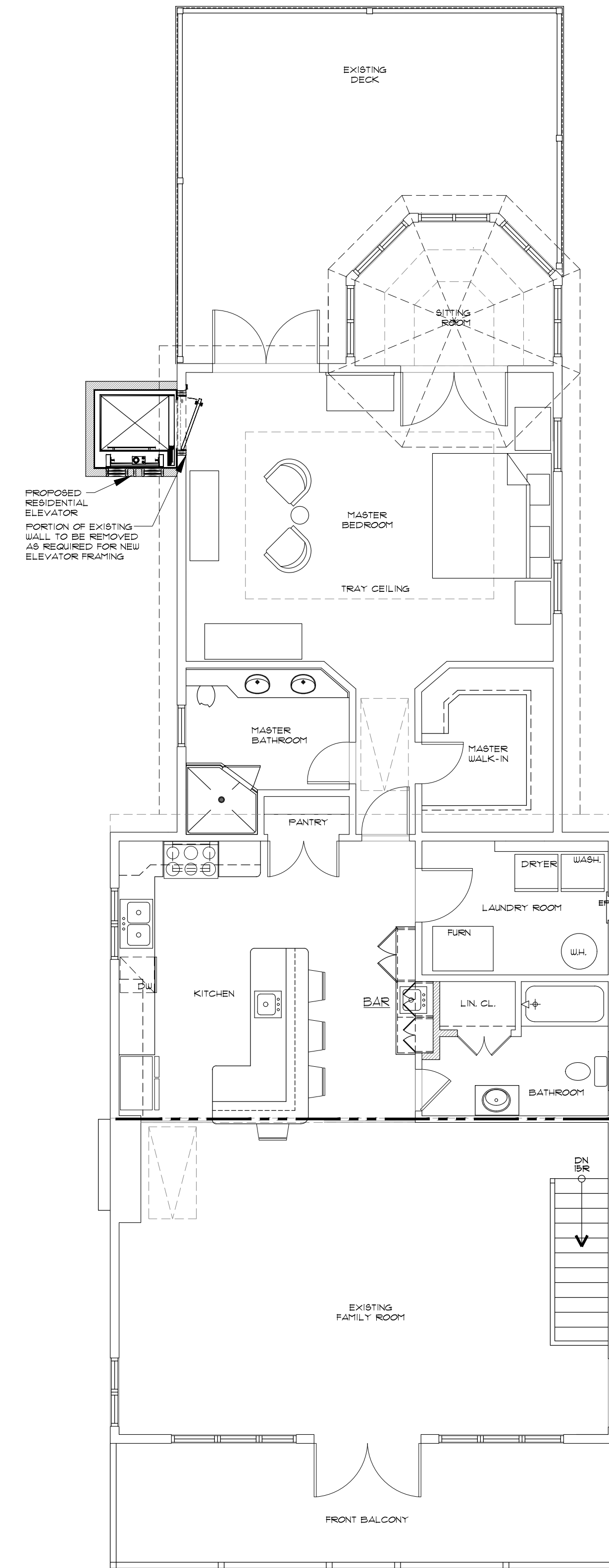
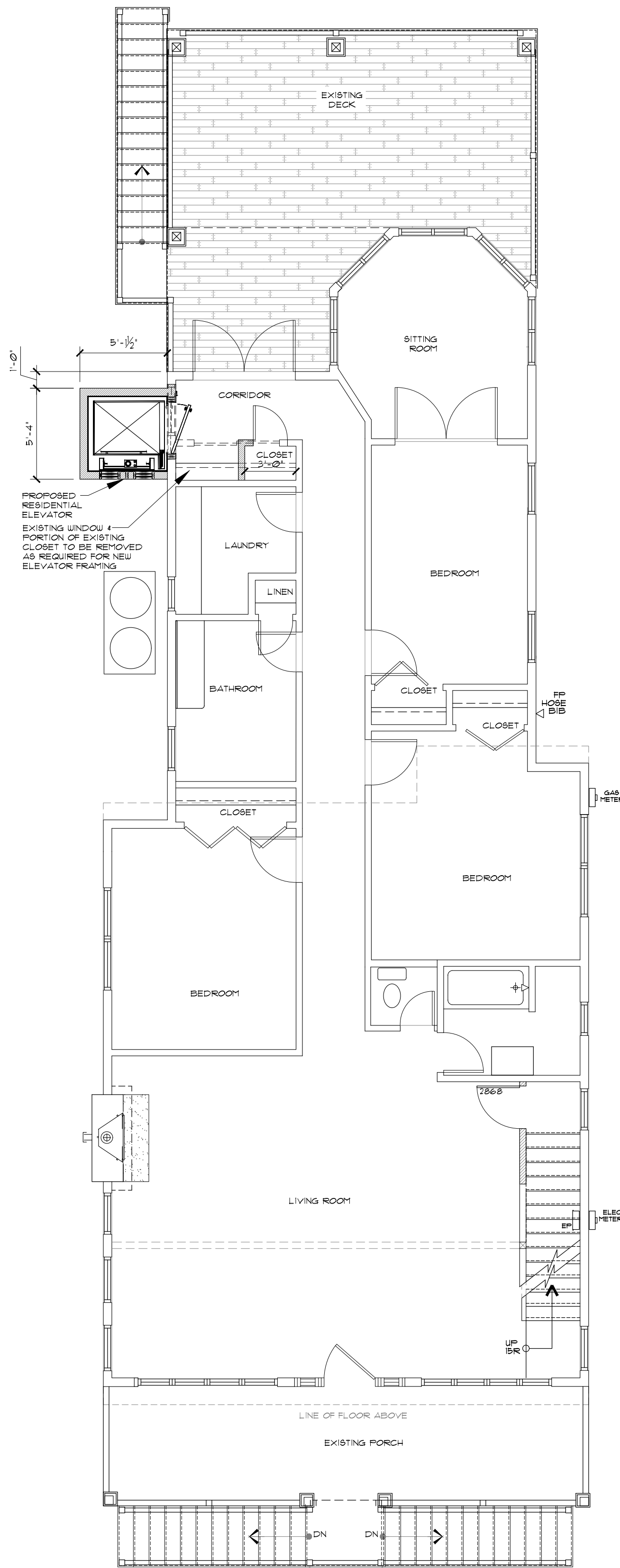
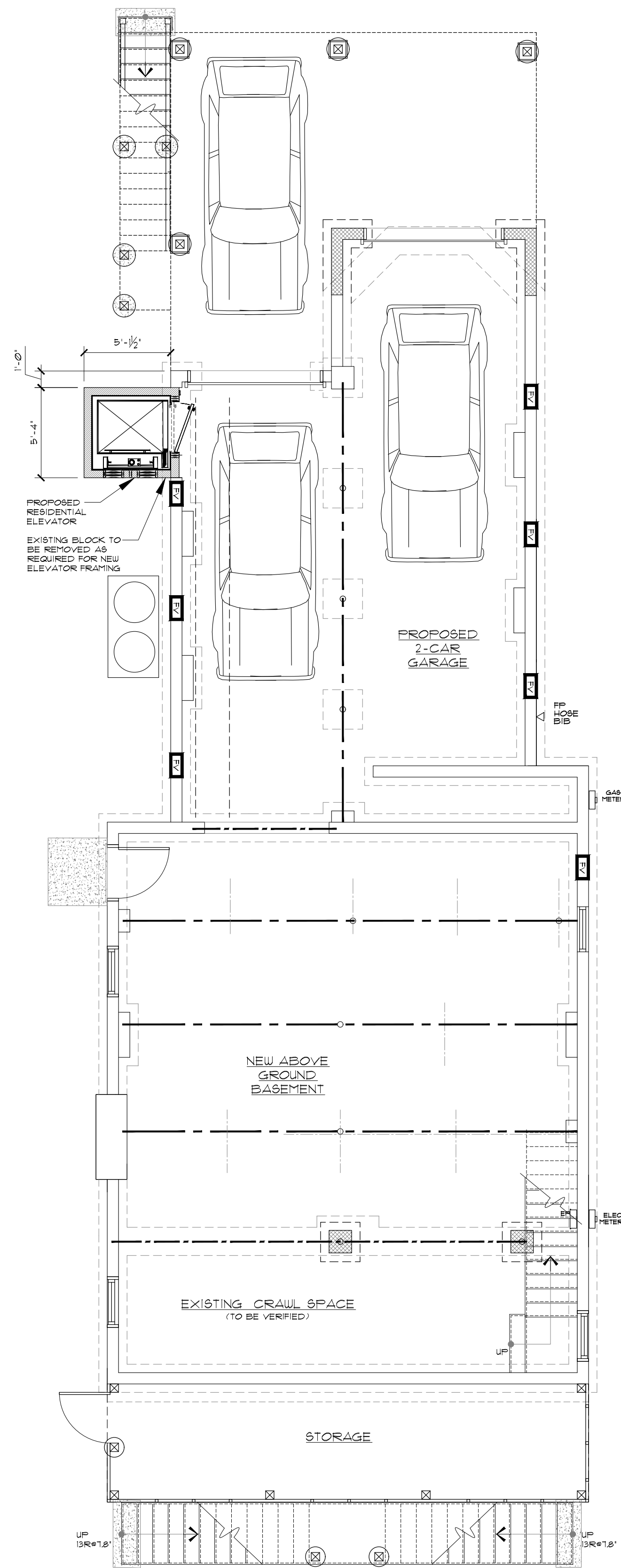


MICHAEL SAVARESE ASSOCIATES
21 CEDAR AVENUE, SUITE 1, FAIR HAVEN, NJ 07704 (732) 530-1424



504 OCEAN AVENUE
SEA BRIGHT, N.J.
DATE: 02/20/2024
SCALE: AS SHOWN
PROJECT NUMBER: 800-19347

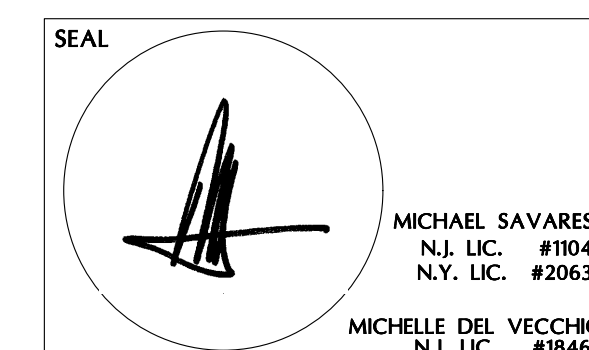
SD-1-1



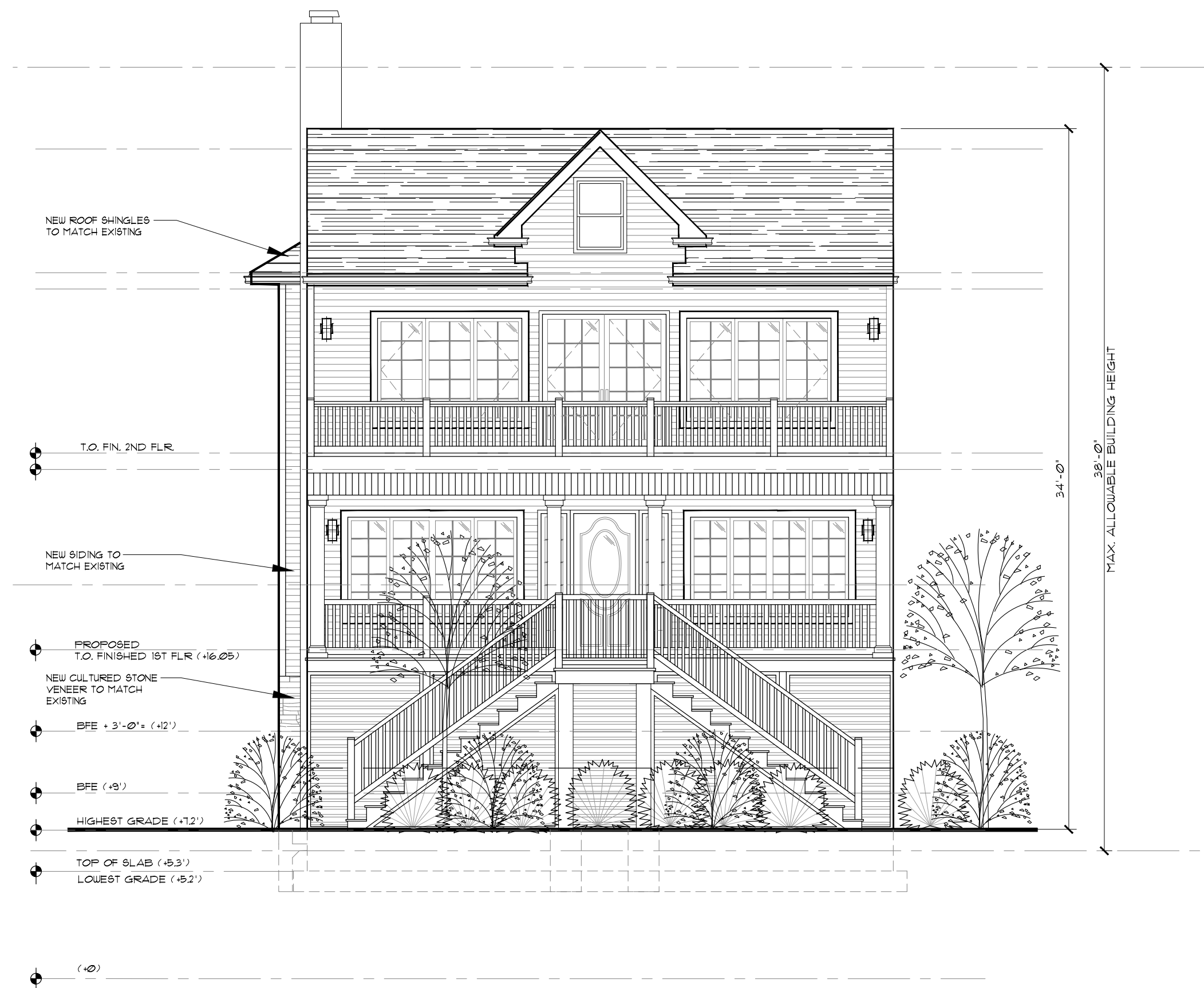
PULTORAK RESIDENCE



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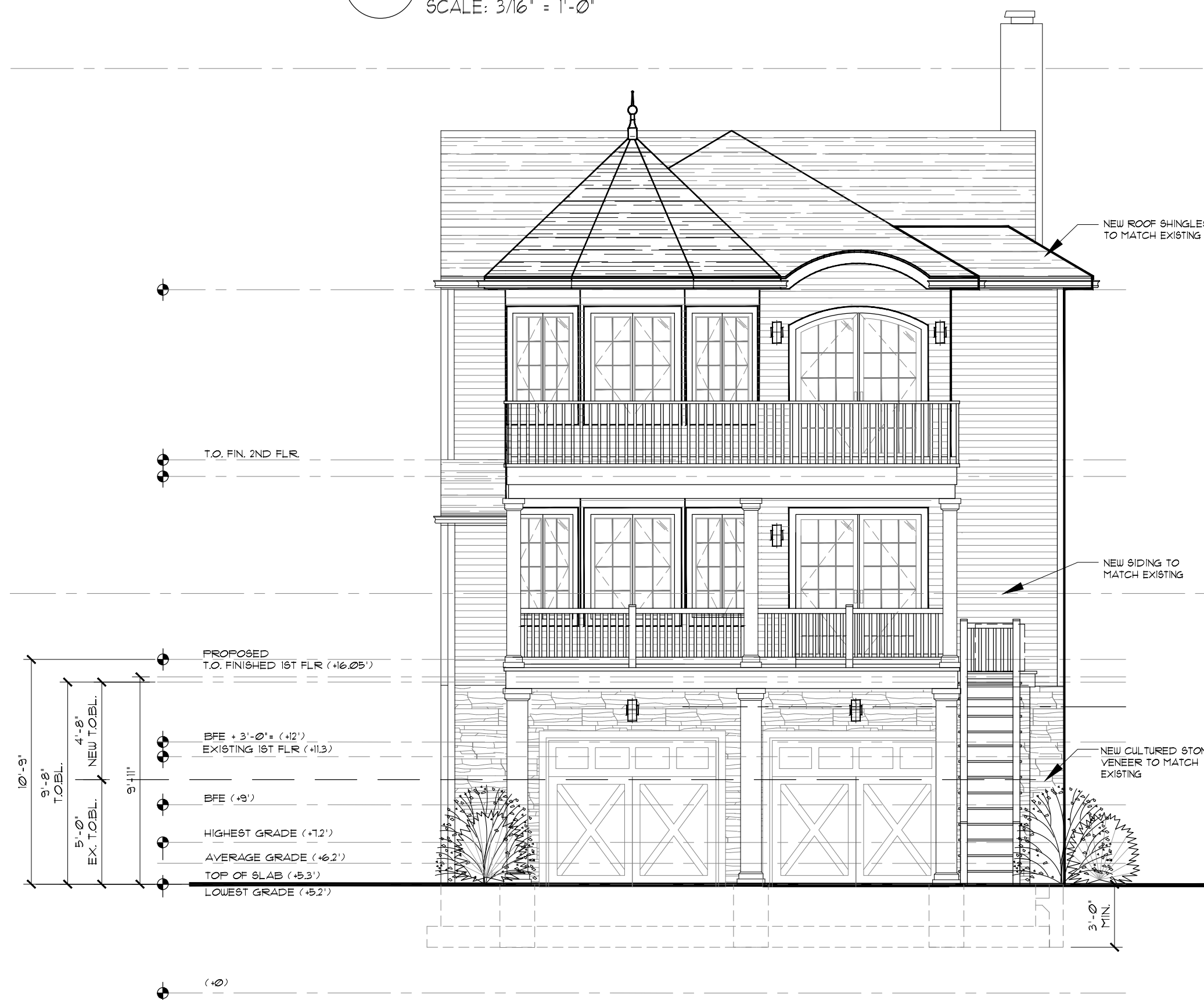
504 OCEAN AVENUE
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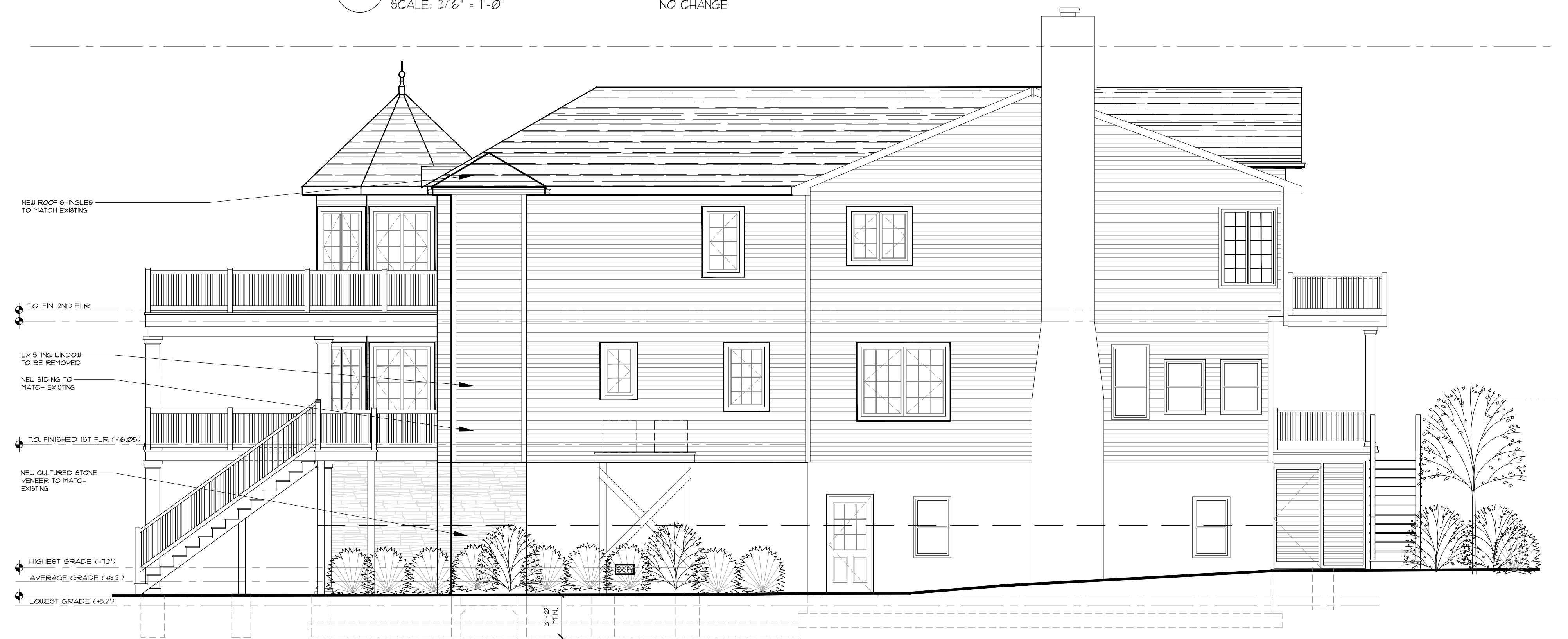
1 PROPOSED FRONT ELEVATION
SCALE: 3/16" = 1'-0"



2 PROPOSED RIGHT SIDE ELEVATION
SCALE: 3/16" = 1'-0"
NO CHANGE



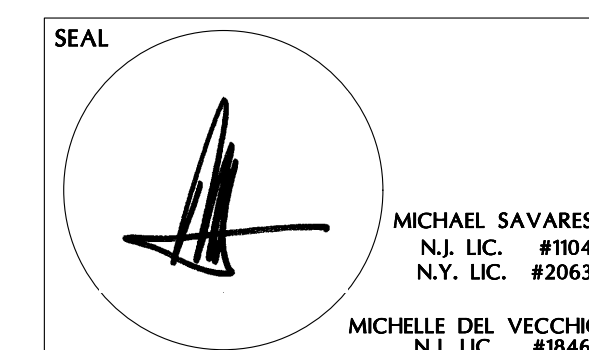
3 PROPOSED REAR ELEVATION
SCALE: 3/16" = 1'-0"



4 PROPOSED LEFT SIDE ELEVATION
SCALE: 3/16" = 1'-0"



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PULTORAK RESIDENCE

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SD-1-3