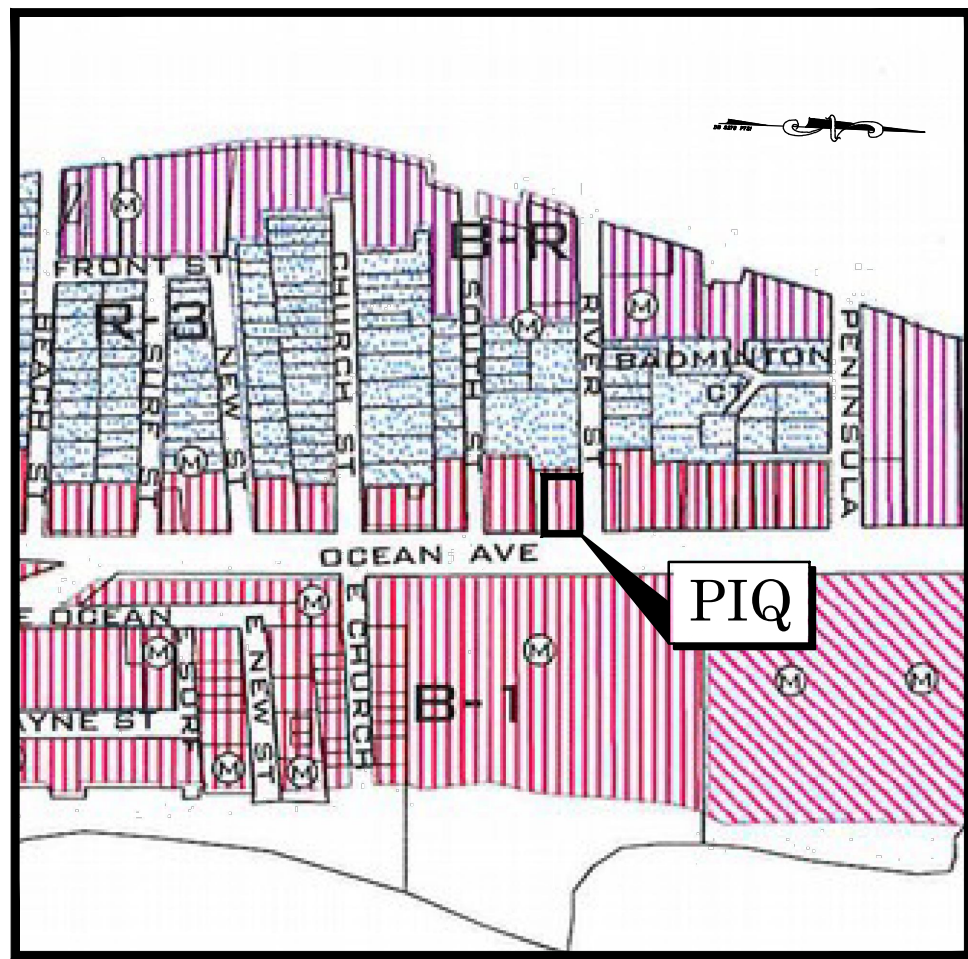
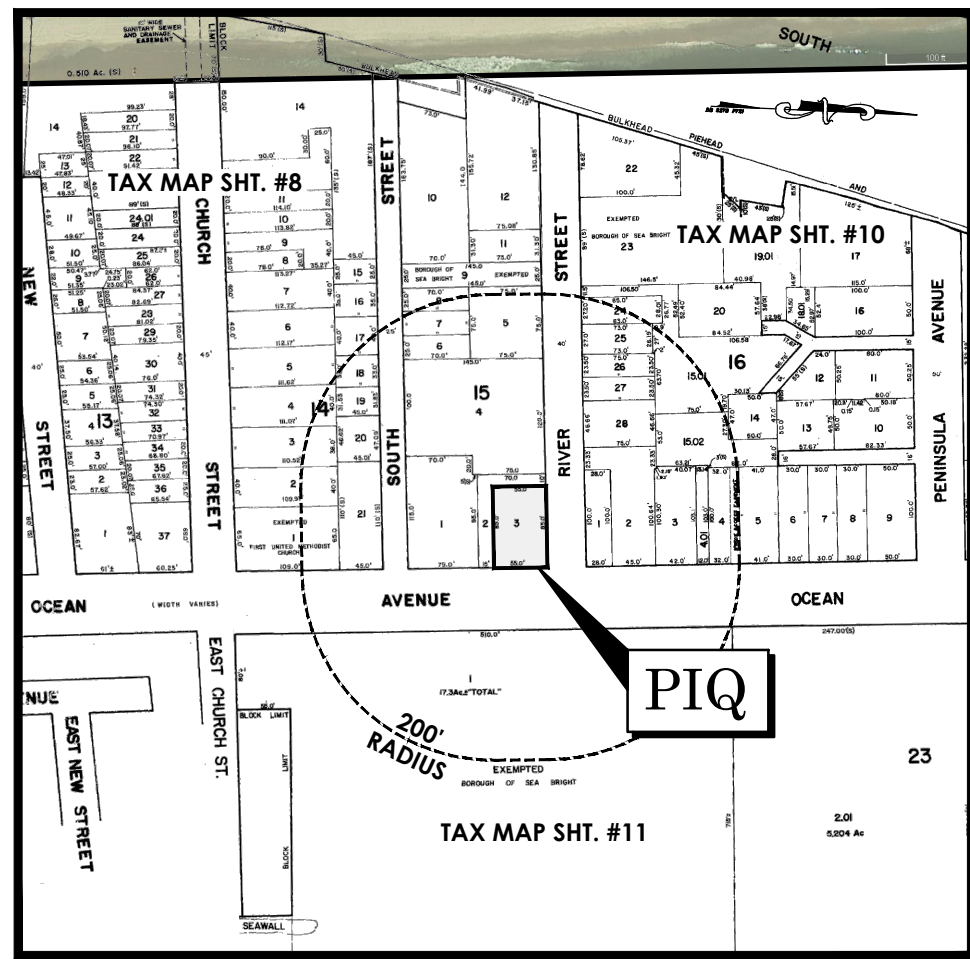


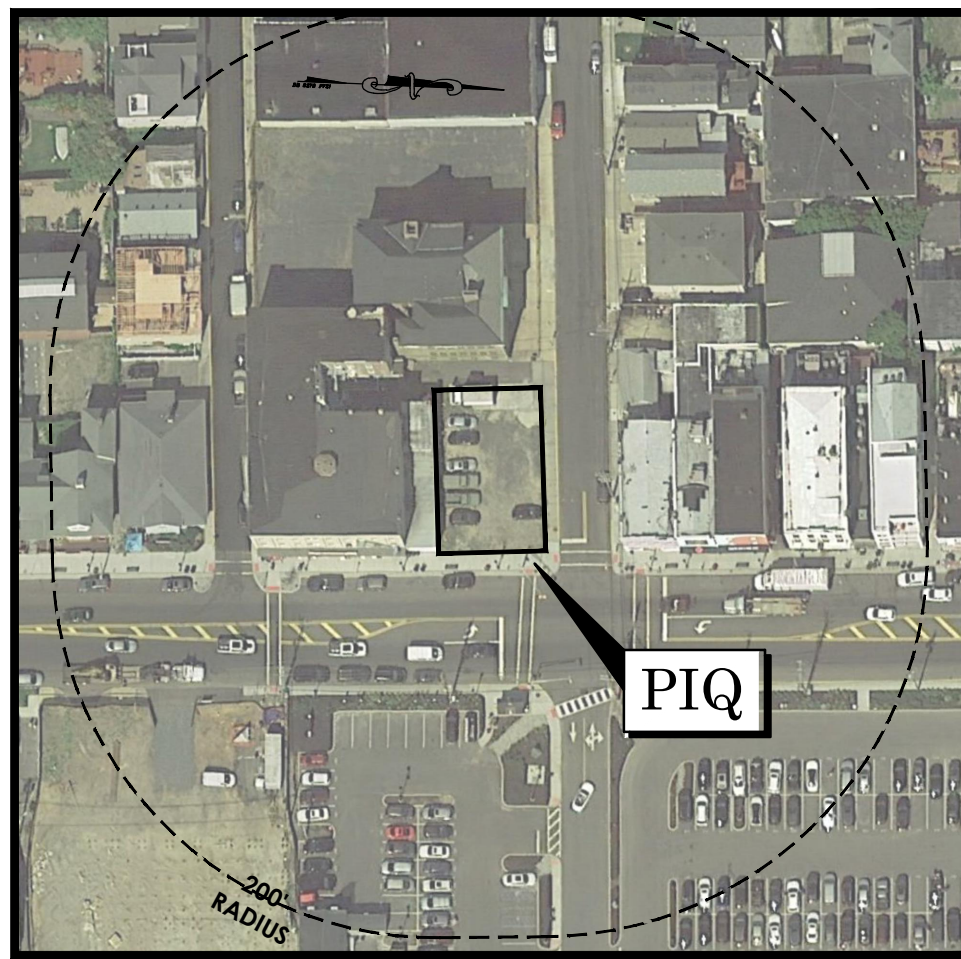
PRELIMINARY AND FINAL SITE PLAN OF BLOCK 15 LOT 3 FOR 1080 OCEAN AVENUE BOROUGH OF SEA BRIGHT, MONMOUTH COUNTY, NJ



ZONE MAP
SCALE: 1"=300'



TAX MAP/AREA MAP
SCALE: 1"=200'



KEY/200' STRUCTURE MAP
SCALE: 1"=100'

200' ADJOINING OWNERS

BLOCK	LOT	QUAL.	CLA.	PROPERTY OWNER	PROPERTY LOCATION	ASST. LOT#
14	1		150	FIRST UNITED METH. CHURCH SEA BRIGHT, NJ 07760	1104 OCEAN AVENUE	
14	1	X	4A	FIRST UNITED METHODIST CHURCH 1101 OCEAN AVENUE SEA BRIGHT, NJ 07760	1101 OCEAN AVENUE	
14	2		1	CHURCH STREET CONDO ASSOCIATION SEA BRIGHT, NJ 07760	1 CHURCH STREET UNIT A	
14	2.01		2	ANDERSON, JAMES A. CHRYSL 1101 OCEAN AVENUE SEA BRIGHT, NJ 07760	1 CHURCH STREET UNIT A	
14	2.02		2	GOZALEZ, JOSE A. SARA CHURCH STREET UNIT B SEA BRIGHT, NJ 07760	1 CHURCH STREET UNIT B	
14	3		2	MCINILEY, SEAN A. AMANDA K 5 CHURCH STREET SEA BRIGHT, NJ 07760	3 CHURCH STREET	
14	4		2	MCINILEY, SEAN A. ANDREA K 5 CHURCH STREET SEA BRIGHT, NJ 07760	5 CHURCH STREET	
14	5		2	DOND, REYNARD A. CYNTHIA 1000 OCEAN AVENUE SEA BRIGHT, NJ 07760	7 CHURCH STREET	
14	17		2	LORENZO, JAMES A 101 OCEAN AVENUE SEA BRIGHT, NJ 07760	8 SOUTH STREET	
14	18		2	WYKE REAL PROPERTIES LLC 1101 OCEAN AVENUE SEA BRIGHT, NJ 07760	8 SOUTH STREET	
14	19		2	FOX, DAVID & PRIMA 218 HUNTERS LANE PINE DR LINDGROVE, NJ 07738	4 SOUTH STREET	
14	20		2	NOTT, ROBERT K. II & SANDRA C. SEA BRIGHT, NJ 07760	3 SOUTH STREET	
14	21		4A	WYKE ASSOCIATES LLC 3 ELYSIUM DRIVE WESTPORT, NJ 08869	1096 OCEAN AVENUE	
15	1		4A	MARIANO, R. KRISTIN, LLC 3 HUNTERS DRIVE MONMOUTH BEACH, NJ 07750	1092 OCEAN AVENUE	
15	2		4A	BEACHVIEW ASS. LLC 725 OCEAN AVENUE SEA BRIGHT, NJ 07760	1084 OCEAN AVENUE	
15	4		4A	RIVER STREET REALTY, LLC 160 27TH STREET BRIDGEVIEW, NJ 07001	4 RIVER STREET	
15	5		4A	C. J. & R. N. ASSOC OF SEA BRIGHT, LLC SEA BRIGHT, NJ 07760	6 RIVER STREET	6 & 7
15	8		2	JOHN A. MONROE & SONS, INC. 250 E. 1ST ST. KINGSTON, NJ 08528	9 SOUTH STREET	
16	1		4A	1076 OCEAN, LLC 1076 OCEAN AVENUE SEA BRIGHT, NJ 07760	1076 OCEAN AVENUE	
16	2		4A	1072 SEA BRIGHT, LLC 1072 OCEAN AVENUE SEA BRIGHT, NJ 07760	1072 OCEAN AVENUE	
16	3		4A	LEW, RAYMOND C. & PHILLIS N. 170 MONMOUTH PLACE LONG BRANCH, NJ 07740	1070 OCEAN AVENUE	
16	4		4A	AMCO, LLC 1066 OCEAN AVENUE CHESKILL, NJ 07824	1066 OCEAN AVENUE	
16	4.01		4A	THEZZA REALTY HOLDING LLC 105 BROADWAY DRIVE RED BANK, NJ 07071	1048 OCEAN AVENUE	
16	5		4A	OWN REALTY, LLC 44 MONMOUTH BLVD. OCEANVIEW, NJ 07757	1040 OCEAN AVENUE	
16	6		4A	1040 OCEAN AVENUE LLC 1040 OCEAN AVENUE SPRINGFIELD, NJ 07081	1040 OCEAN AVENUE	
16	14		2	MARTIN, IVAN WENAT 1030 OCEAN AVENUE SEA BRIGHT, NJ 07760	1030 OCEAN AVENUE	
16	15.01		1	ASSESSED WITH BLOCK 16 LOTS 15-23 THU 15 IS AS PART OF COMMON ELEMENTS	2 BADMINION COURT	
16	15.02		4A	MONMOUTH SQUARE CLUB, LLC 1071 OCEAN AVENUE SEA BRIGHT, NJ 07760	1071 OCEAN AVENUE	
16	15.03		2	MURRO, ROBERT P. JR. 7324 WIDEFELD LAKE LAKE MORTH, FL 33467	2 BADMINION COURT UNIT 1	
16	15.04		2	MURRO, ROBERT P. JR. 7324 WIDEFELD LAKE LAKE MORTH, FL 33467	2 BADMINION COURT UNIT 2	
16	15.05		2	MURRO, ROBERT P. JR. 7324 WIDEFELD LAKE LAKE MORTH, FL 33467	2 BADMINION COURT UNIT 3	
16	15.06		2	MURRO, ROBERT P. JR. 7324 WIDEFELD LAKE LAKE MORTH, FL 33467	2 BADMINION COURT UNIT 4	
16	15.07		2	MURRO, ROBERT P. JR. 7324 WIDEFELD LAKE LAKE MORTH, FL 33467	2 BADMINION COURT UNIT 5	
16	15.08		2	MURRO, ROBERT P. JR. 7324 WIDEFELD LAKE LAKE MORTH, FL 33467	2 BADMINION COURT UNIT 6	
16	15.09		2	MURRO, ROBERT P. JR. 7324 WIDEFELD LAKE LAKE MORTH, FL 33467	2 BADMINION COURT UNIT 7	
16	15.10		2	MURRO, ROBERT P. JR. 7324 WIDEFELD LAKE LAKE MORTH, FL 33467	2 BADMINION COURT UNIT 8	
16	15.11		2	MURRO, ROBERT P. JR. 7324 WIDEFELD LAKE LAKE MORTH, FL 33467	2 BADMINION COURT UNIT 9	
16	15.12		2	MURRO, ROBERT P. JR. 7324 WIDEFELD LAKE LAKE MORTH, FL 33467	2 BADMINION COURT UNIT 10	
16	24		2	JOHNSON, LESLIE A. & HUTTON, MAE E. 10 RIVER STREET SEA BRIGHT, NJ 07760	10 RIVER STREET	
16	25		2	15 111 SOUTH STREET, LLC 15 111 SOUTH STREET AVE 30-2 LONG BRANCH, NJ 07740	9 RIVER STREET	
16	26		2	FORSMAN, JOHN ROBERT ETAL 1000 EAST LOMITA AVENUE ORANGE, CA 92667	9 RIVER STREET	
16	27		2	GOTTI, JOHN G. 11 RIVER STREET SEA BRIGHT, NJ 07760	11 RIVER STREET	
16	28		2	S. RIVER S. LLC 100 SECOND AVENUE LONG BRANCH, NJ 07740	5 RIVER STREET	
23	1		100	BOARD OF SEA BRIGHT 100 OCEAN AVENUE SEA BRIGHT, NJ 07760	1000 OCEAN AVENUE	
23	2.02		100	BOARD OF SEA BRIGHT 100 OCEAN AVENUE SEA BRIGHT, NJ 07760	1001 OCEAN AVENUE	

GENERAL NOTES:

- APPLICANT/OWNER: THE BREAK REAL ESTATE PARTNERS LLC
32A BEACH ROAD
MONMOUTH BEACH, NJ 07750
- THE PROPERTY IS KNOWN AS LOT 3, BLOCK 15 AS SHOWN ON THE OFFICIAL TAX MAP SHEET NO. 8 OF THE BOROUGH OF SEA BRIGHT, MONMOUTH COUNTY, NEW JERSEY.
 - SURVEY AND BOUNDARY INFORMATION SHOWN HEREIN TAKEN FROM MAP ENTITLED "SURVEY OF PROPERTY" PREPARED BY LANDMARK SURVEYING & ENGINEERING, INC., ZENON T. GRYBOWSKI, NJ PLS No. 23918, DATED 12/14/17, REVISED 1/12/18. UTILITY AND TOPOGRAPHIC LOCATIONS SUPPLEMENTED BY WJH ENGINEERING, PETER P. BENNETT III, NJ PLS No. 40651, DATED 9/27/19. TOPOGRAPHIC INFORMATION IS BASED ON NAVD 88.
 - SITE LOCATED IS LOCATED IN FLOOD ZONE "AE" (MIN. FLOOD ELEV. 9.0) PURSUANT TO PRELIMINARY FLOOD INSURANCE MAP #34025C0201F, DATED 9/25/09.
 - EXISTING USE: VACANT.
 - PROPOSED USE: 6 CONDOMINIUMS AND 1 RETAIL SPACE (2,800 SF).
 - THE SITE IS CURRENTLY SERVED BY PUBLIC WATER AND SEWER.
 - DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC. THEY ARE SCHEMATIC ONLY, EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.
 - THIS SET OF PLANS HAS BEEN PREPARED FOR PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THESE PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS AND EACH DRAWING HAS BEEN REVISED TO INDICATE "ISSUED FOR CONSTRUCTION."
 - EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION, AND NOTIFY NJ ONECALL AS REQUIRED BY LAW. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENT AS REQUIRED TO AVOID CONFLICTS. EXISTING UTILITY CONNECTIONS WILL BE UTILIZED, IF POSSIBLE.
 - ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
 - A. N.J. DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", AS CURRENTLY AMENDED.
 - B. CURRENT, PREVAILING MUNICIPAL AND/OR COUNTY SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
 - C. CURRENT, PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS.
 - CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON AND/OR IF SUCH CONDITIONS, IN THE CONTRACTOR'S OPINION WOULD OR COULD RENDER THE DESIGN SHOWN HEREON INAPPROPRIATE OR INEFFECTIVE.
 - CONTRACTOR SHALL COORDINATE ANY UTILITY RELOCATIONS.
 - THIS PLAN IS SUBJECT TO ALL LOCAL AND STATE REGULATORY PERMITS, AGENCY REVIEW AND APPROVAL.
 - RETAIL & CONDO, REFUSE AND RECYCLING WILL BE HANDLED THROUGH A PRIVATE COMPANY AND STORED WITHIN THE GARAGE AND FIRST FLOOR AREAS.
 - IT IS THE INTENT OF THESE PLANS TO PROVIDE THE FOLLOWING GRADING CRITERIA:
 - 3:1 MAX.
 - 2% MIN. GRASS, 1% PAVEMENT
 - 6% MAX. WITHIN 10' OF PROPOSED BUILDINGS
 - THE OWNER, OR HIS REPRESENTATIVE, IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 5:23-2.21(e) OF THE N.J. UNIFORM CONSTRUCTION CODE AND CFR 1926.32(f) (OSHA COMPETENT PERSON).
 - ALL SITE IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE BOROUGH OF SEA BRIGHT CONSTRUCTION STANDARDS, WHERE APPLICABLE.
 - FIRE ZONE SIGNAGE, STRIPING, KNOX BOX, ETC. SHALL BE IN ACCORDANCE WITH THE BOROUGH FIRE OFFICIAL.
 - A SEPARATE UTILITY PERMIT APPLICATION IS REQUIRED FOR LOCAL AGENCY FOR WATER & SEWER. A SEWER FLOW CALCULATION IS REQUIRED FOR BOTH SIZING AND CONNECTION FEE REASONS. AN APPLICATION IS TO BE MADE TO TWO RIVERS RECLAMATION AUTHORITY FOR APPROVAL OF THE NEW SEWER BUILDING.
 - ALL ROOF LEADERS SHALL BE DIRECTED TOWARD THE STREET SYSTEM.
 - LOAD ZONE: NOT REQUIRED.
 - BUILDING FOOTPRINT DIMENSIONS OBTAINED FROM PLANS PREPARED BY MODE ARCHITECTS LAST REVISED 10/20/21 AND SHOWN HEREON ARE APPROXIMATE. FINAL BUILDING FOOTPRINT DIMENSIONS SHALL BE FURNISHED AT TIME OF BUILDING PERMIT AND SHALL CONFORM TO APPROVED BULK STANDARDS.
 - ALL BONDS MUST BE POSTED PRIOR TO BUILDING PERMITS.
 - ARCHITECT TO COORDINATE SIGNAGE PURSUANT TO BOROUGH ORDINANCES.
 - SIDEWALKS AND CURBS, IF DAMAGED, SHALL BE REPLACED. PROVISION TO PROVIDE PUBLIC CIRCULATION SHALL BE MAINTAINED AT ALL TIMES.
 - ALL EXISTING STRIPING AND PAVEMENT MARKINGS WILL BE REPLACED IN KIND.
 - ANY SUPPORTS FOR THE BUILDING TO THE SOUTH THAT ARE TO BE REMOVED MUST BE DONE IN A WAY TO PROTECT THE ADJACENT BUILDING.
 - THE APPLICANT SHALL ENTER INTO A DEVELOPER'S AGREEMENT (SECTION 130-66C 10) WITH THE BOROUGH FOR FAIR SHARE SEWER CONTRIBUTIONS AND CONNECTIONS FEES.
 - SHOP DRAWINGS AND SUBMITTALS, STAMPED APPROVED BY THE DESIGN ENGINEER, SHALL BE SUBMITTED TO THE BOROUGH ENGINEER FOR REVIEW AND APPROVAL, PRIOR TO CONSTRUCTION, INCLUDING STORM SEWER INLETS, MANHOLES, CASTINGS, NTD, SURVEY CUT SHEETS, DIVERSION MANHOLES AND OVERFLOW MANHOLES.
 - THE APPLICANT SHALL BE SUBJECT TO ANY AFFORDABLE HOUSING REQUIREMENTS OF SEA BRIGHT.

PRELIMINARY AND FINAL SITE PLAN OF BLOCK 15 LOT 3 FOR 1080 OCEAN AVENUE BOROUGH OF SEA BRIGHT, MONMOUTH COUNTY, NJ

JOB NUMBER 19181-C

WJH

CERT. OF AUTH. NO. 24G428117300

257 MONMOUTH ROAD, BLDG. A, STE. 7, OAKHURST, NJ 07755
PHONE - 732-223-1313

WALTER JOSEPH HOPKIN
N.J. PROFESSIONAL ENGINEER, LIC. No. 40673

Walter Joseph Hopkin

ZONING TABLE			
ZONE DISTRICT: B-1	BUSINESS DISTRICT		
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA (S.F.)	3,000	4,674.76	4,674.76
MINIMUM LOT WIDTH (FT.)	50	55.00	55.00
MINIMUM LOT DEPTH (FT.)	60	85.00	85.00
MINIMUM FRONT YARD SETBACK (FT.)	0'-0"	N/A	0.00
MINIMUM SIDE YARD SETBACK (FT.)	0'-0"	N/A	0.00
MINIMUM REAR YARD SETBACK (FT.)	15'-0"	N/A	0.00*
MINIMUM GROSS FLOOR AREA (S.F.)	880	N/A	2,800
MAXIMUM BUILDING HEIGHT (FT.)	42	N/A	49.6'/4 STORIES
MAXIMUM BUILDING COVERAGE AREA (%)	50	N/A	97*
MAXIMUM IMPERVIOUS COVERAGE (%)	75	100	97*
PARKING SPACES (SEA BRIGHT) RESIDENTIAL -----	2 SPACES / UNIT 12 REQUIRED	N/A	11 + 1 Handicap
* RETAIL/RESTAURANT -----	3 PEOPLE / SPACE 1 / EMPLOYEE	MUNICIPAL LOT	60 OCCUPANCY 8 EMPLOYEES 28 SPACES REQ.
PARKING SIZE: STANDARD	8.5' x 18' min.	-	9' x 18'

* VARIANCE REQUIRED & APPROVED

SHEET INDEX			
SHEET NO.	SHEET TITLE	ORIG. ISSUE DATE	LATEST REV. DATE
1	COVER SHEET	10/1/20	11/14/23
2	EXISTING CONDITIONS & DEMOLITION PLAN	10/1/20	11/14/23
3	DIMENSION PLAN	10/1/20	11/14/23
4	GRADING, DRAINAGE & UTILITY PLAN	10/1/20	11/14/23
5	CONSTRUCTION DETAILS	10/1/20	11/14/23

ATTORNEY:
KEVIN KENNEDY, ESQ.
165 STATE HWY. NO. 35
RED BANK, NJ 07701
PH. (732) 936-1099
kennedylaw@kevinkennedylaw.net

ARCHITECT:
DANIEL M. CONDATORE, R.A.
- MODE -
MONMOUTH OCEAN DESIGN EXPERTS
619 LAKE AVENUE
3RD. FLOOR
ASBURY PARK, NJ 07712
PH. (732) 800-1958

APPLICANT / OWNER:
THE BREAK REAL ESTATE PARTNERS, LLC
32A BEACH ROAD
MONMOUTH BEACH, NJ 07750

AS OWNER OF THE LANDS SHOWN ON THIS MAP, I/WE HEREBY
CONSENT TO FILE THIS MAP.

THE BREAK REAL ESTATE PARTNERS, LLC DATE

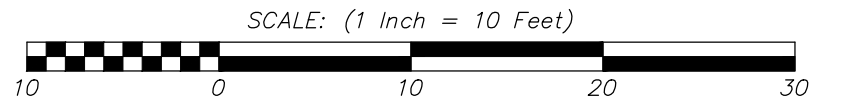
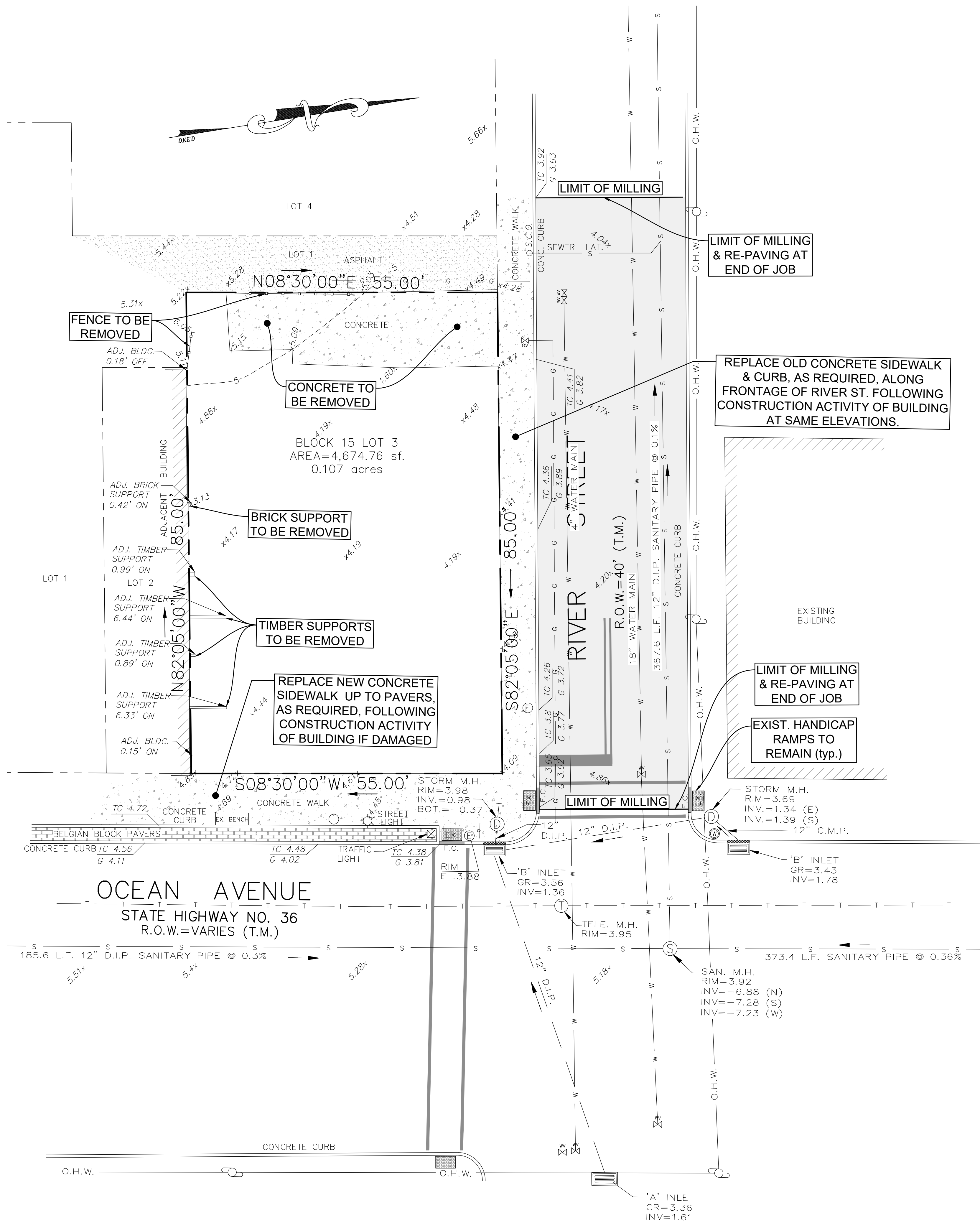
MONMOUTH COUNTY PLANNING
BOARD APPROVAL TO BE AFFIXED

CERTIFICATION:
APPROVED BY THE PLANNING BOARD OF THE BOROUGH OF SEA BRIGHT
MONMOUTH COUNTY, NEW JERSEY

CHAIRMAN DATE

SECRETARY DATE

CITY ENGINEER DATE



4	11/14/23	REVISIONS TO LIGHTING LOCATIONS, CALLOUTS AND CONSTRUCTION DETAILS	DD
3	4/20/21	REVISIONS PURSUANT TO PLANNING BOARD COMMENT LETTER DATED 1/5/21	JUL
2	03/05/21	REVISED TO ADD CONNECTION TO EX. MANHOLE DETAIL	CM
1	11/23/20	GENERAL REVISIONS	JUL
NO.	DATE	DESCRIPTION	DRAWN BY

PRELIMINARY & FINAL SITE PLAN

OF

LOT 3 BLOCK 15

BOROUGH OF SEA BRIGHT MONMOUTH COUNTY NEW JERSEY



CERT. OF AUTH. NO. 246A2811 17300
 257 MONMOUTH ROAD,
 BLOCK A, STE. 7,
 OAKBURST, NJ 07755
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WWW.WJHENGINEERING.COM

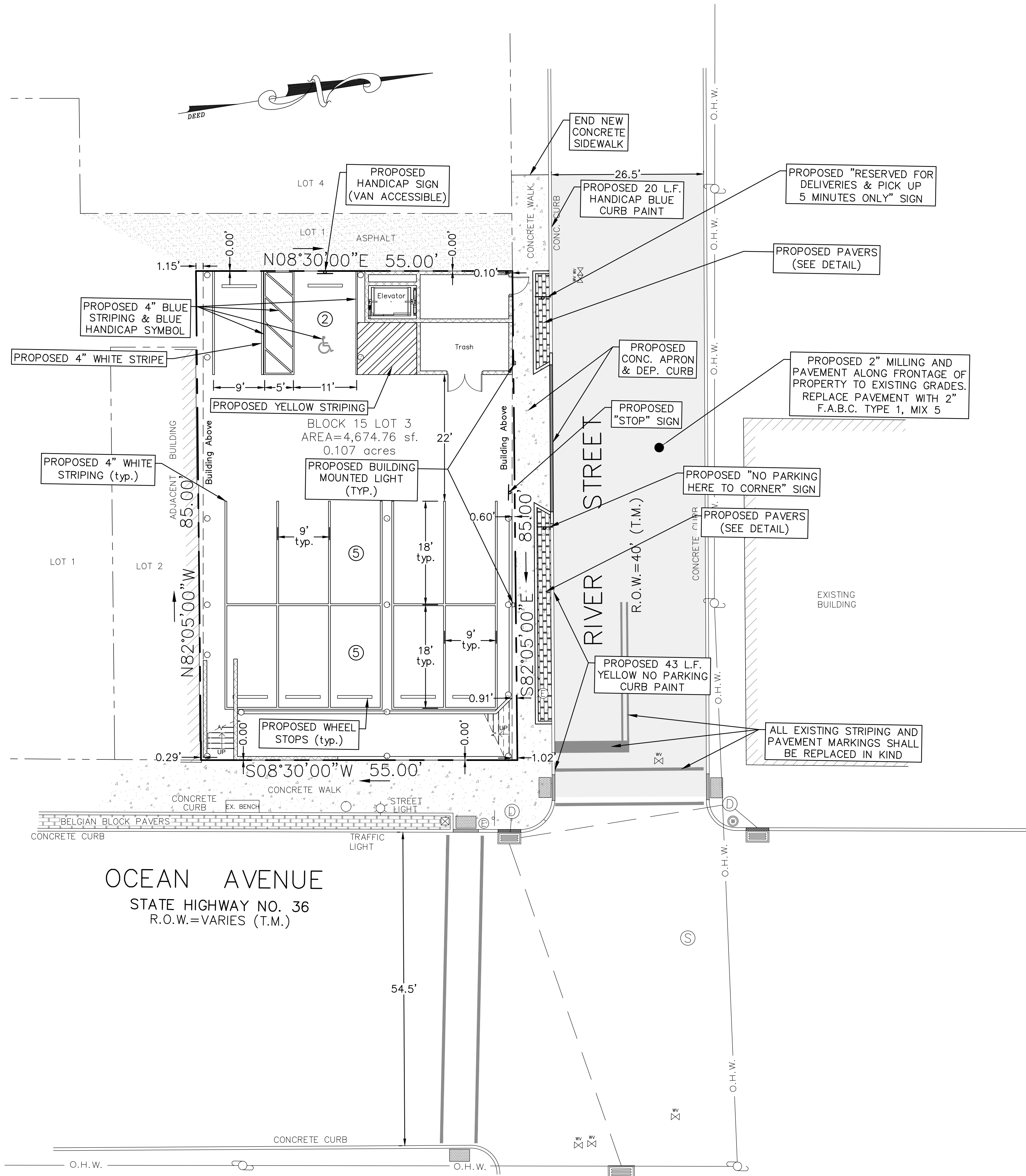
EXISTING CONDITIONS & DEMOLITION PLAN

WALTER JOSEPH HOPKIN

N.J. PROFESSIONAL ENGINEER, LIC. NO. 40673



SCALE:	DRAWN BY:	DATE:	JOB NO.:	SHEET NO.:
1" = 10'	JUL	10/1/20	19181-C	2 of 5



1	11/14/23	REVISIONS TO LIGHTING LOCATIONS, CALLOUTS AND CONSTRUCTION DETAILS			DD
2	4/20/21	REVISIONS PURSUANT TO PLANNING BOARD COMMENT LETTER DATED 1/5/21			JDL
3	03/05/21	REVISED TO ADD CONNECTION TO EX. MANHOLE DETAIL			CM
4	11/23/20	GENERAL REVISIONS			JUL
NO.	DATE	DESCRIPTION			DRAWN BY

PRELIMINARY & FINAL SITE PLAN

OF

LOT 3 BLOCK 15

BOROUGH OF SEA BRIGHT MONMOUTH COUNTY NEW JERSEY



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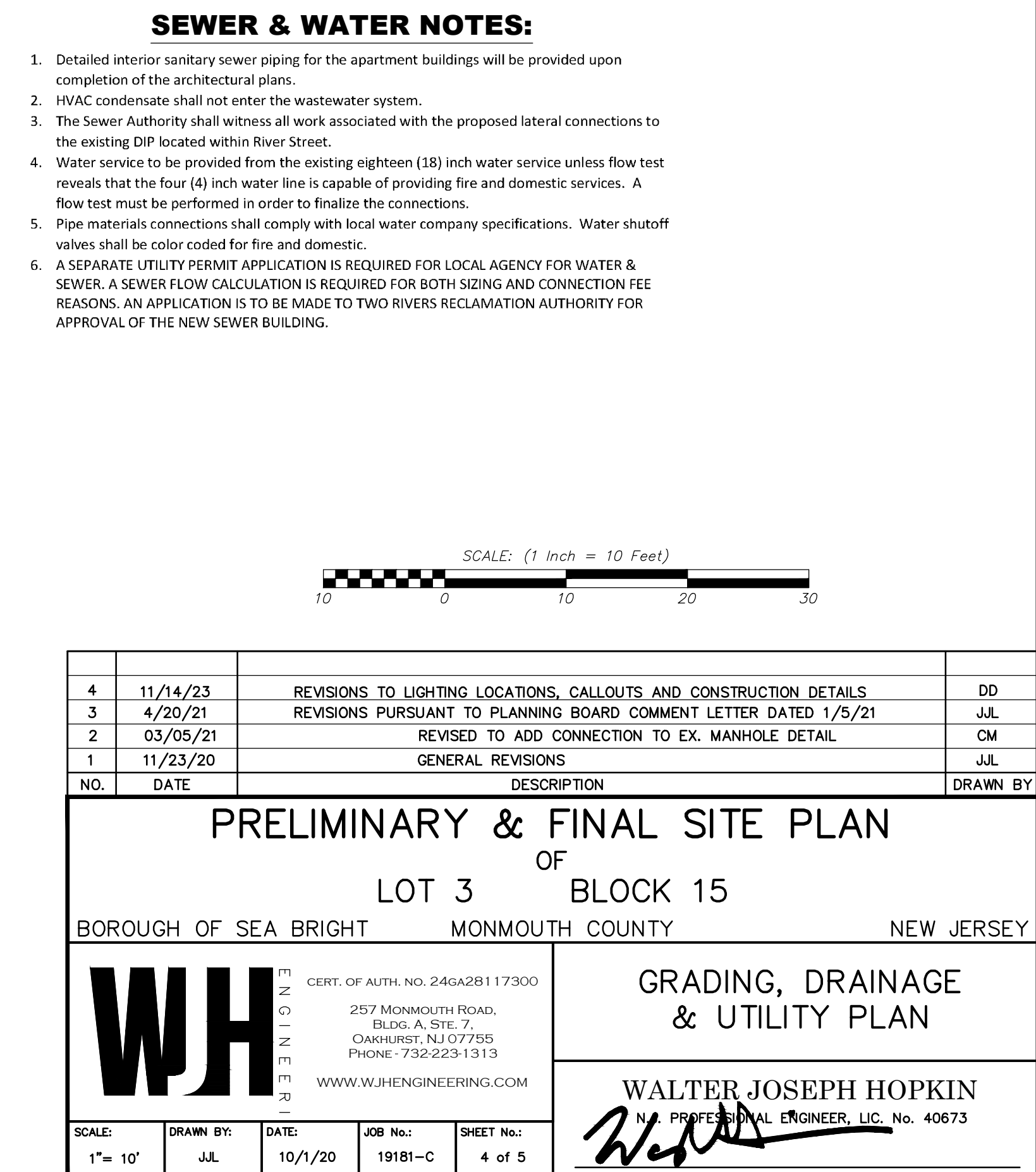
DIMENSION PLAN

WALTER JOSEPH HOPKIN

N.J. PROFESSIONAL ENGINEER, LIC. No. 40673



SCALE:	DRAWN BY:	DATE:	JOB No.:	SHEET No.:
1"= 10'	JUL	10/1/20	19181-C	3 of 5



KNOXBOX™ 3200

The KnoxBox 3200 is the number one high-security key lock box trusted by first responders and property owners. Store up to 10 keys to quickly gain rapid access to commercial properties.



WEIGHT: Surface Mount - 8 lbs.
Recessed Mount - 9 lbs.

DIMENSIONS: Surface Mount Body - 4 1/4" x 5 1/4" x 3 7/8" D
Recessed Mount Flange - 7 1/4" x 7 1/4"

Available in 3 colors:
Black Aluminum Dark Bronze

FEATURES:
• Stores maximum 10 keys. Access cards and small entry items may also fit in interior compartment but will reduce max key quantity.
• Built Knox-Rugged and secure: UL 1037, UL 1610, UL 1350, UL 437
• Finished with Knox-Coat® to protect four times better than standard powder coat
• Weather-resistant door gasket
• Hinged door
• Allows rapid property access
• Reduces property damage
• Prevents forced entry into buildings
• Minimizes first responder injury
• Compliant to National Fire Code (NFPA, IFC, IBC)

BENEFITS:
• Allows rapid property access
• Reduces property damage
• Prevents forced entry into buildings
• Minimizes first responder injury
• Compliant to National Fire Code (NFPA, IFC, IBC)

OPTIONS:
• Knox Tamper Alert connects to building's alarm system for extra security
• Mount types: Recessed and Surface
• 3 color options: Black, Aluminum, Dark Bronze

ACCESSORIES:
• Multi-Purpose Switch for use on electrical doors, gates and other electrical equipment
• Recess Mounting Kit for new concrete or masonry construction
• Public Safety Labels
• Tag-Out Tamper Seals
• Key Tags
• Key Rings

ORDERING SPECIFICATIONS:
To insure procurement and delivery of the KnoxBox 3200, it is suggested the following specification paragraph is used:
KnoxBox surface/recessed mount with hinged door, with/without UL Listed Knox Tamper Alert, 10" plate steel housing, 12" thick steel door with interior gasket seal and stainless steel door hinges. Box and lock UL Listed. Lock has 10" thick stainless steel dust cover with tamper seal mounting capability.
Exterior Dimensions: Surface Mount Body - 4 1/4" x 5 1/4" x 3 7/8" D
Recessed Mount Flange - 7 1/4" x 7 1/4" x 1 1/2" D
Lock: UL Listed. Double-action rotating tumbler and hardened steel pins actuated by a brass cut key.
Finish: Knox-Coat proprietary finishing process
Color: Black, Dark Bronze or Aluminum
PIN: KnoxBox 3200 (pin's cat. ID)
Mfr's Name: KNOX COMPANY

1601 W. DEER VALLEY RD. PHOENIX, AZ 85027 | 1-800-552-5669 | F: 623-682-2290 | INFO@KNOXBOX.COM | KNOXBOX.COM

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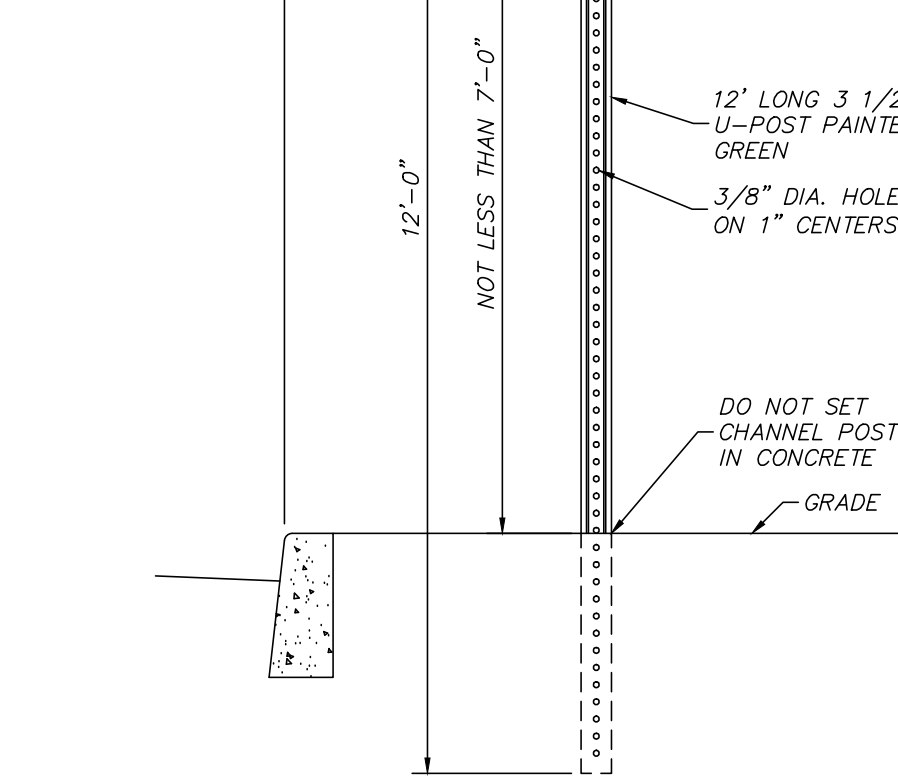
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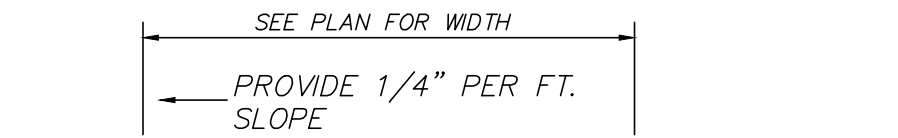


- NOTES:
1. ALL REGULATORY & WARNING SIGNS SHALL BE HIGH INTENSITY REFLECTIVE SHEETING.
 2. ALL OTHER SIGNS SHALL BE ENGINEER GRADE SHEETING.
 3. ALL SIGNS AFFECTING COUNTY ROAD TRAFFIC SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION
 4. SIGN POSTS SHALL BE 3LBS./FT.

TYPICAL SIGN POST DETAIL

NOT TO SCALE

NOTE:
PREFORMED EXPANSION JOINT MATERIAL SHALL BE PLACED AT MAXIMUM 20 FOOT INTERVALS AND WHERE SIDEWALKS ABUT EITHER CURB OR A STRUCTURE.

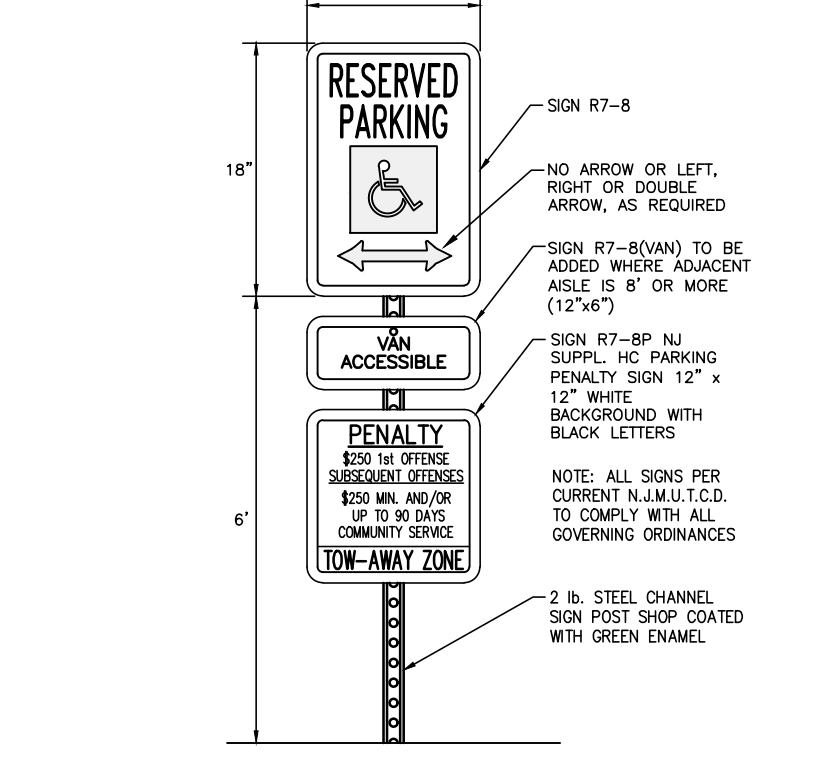


4" THICK, CLASS "B" 4500 p.s.i. CONCRETE, AIR ENTRAINMENT

SUITABLE COMPACTED SUBGRADE

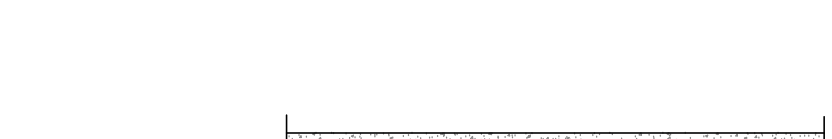
CONCRETE SIDEWALK DETAIL

NOT TO SCALE



HANDICAP PARKING SIGN DETAIL

N.T.S.

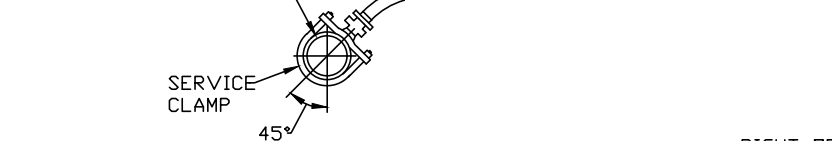


CONCRETE SIDEWALK

6"X6" PAVER EDGE

CONCRETE CURB

PLAN



THE CONTRACTOR SHALL CAREFULLY REMOVE ANY PRIVATELY OWNED OBJECTS SUCH AS FENCES, MAIL BOXES, ETC. PRIOR TO INSTALLING LATERAL AND SHALL REINSTALL ALL REMOVED OBJECTS AFTER THE LATERAL IS INSTALLED.

45° STREET ELBOW

6" STREET ELBOW

SADDLE CONNECTION

45° STREET ELBOW

6" STREET ELBOW

SADDLE CONNECTION

45° STREET ELBOW

6" STREET ELBOW

SADDLE CONNECTION

45° STREET ELBOW

6" STREET ELBOW

SADDLE CONNECTION

45° STREET ELBOW

6" STREET ELBOW

SADDLE CONNECTION

45° STREET ELBOW

6" STREET ELBOW

SADDLE CONNECTION

ON-SITE CONCRETE CURB DETAIL

NOT TO SCALE



3/8" MORTAR FILLED WITH SAND & MORTAR MIX

8"x8"x2-1/4" BRICK PAVER - COLOR TO BE COORDINATED WITH ARCHITECT/GEOROUGH TO MATCH OCEAN AVE.

4" SAND

COMPACTED SUBGRADE

SECTION

BRICK SIDEWALK PAVER DETAIL

NOT TO SCALE

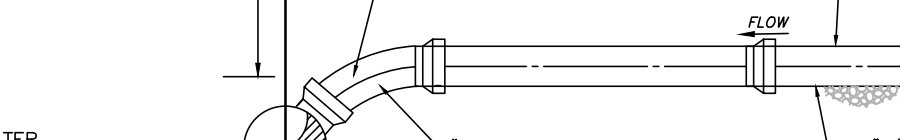


CONCRETE SIDEWALK

6"X6" PAVER EDGE

CONCRETE CURB

PLAN



4" THICK, CLASS "B" 4500 p.s.i. CONCRETE, AIR ENTRAINMENT

SUITABLE COMPACTED SUBGRADE

CONCRETE DRIVEWAY APRON DETAIL

NOT TO SCALE



4" THICK, CLASS "B" 4500 p.s.i. CONCRETE, AIR ENTRAINMENT

SUITABLE COMPACTED SUBGRADE

CLEANOUT RISER COVER DETAIL

NOT TO SCALE



4" THICK, CLASS "B" 4500 p.s.i. CONCRETE, AIR ENTRAINMENT

SUITABLE COMPACTED SUBGRADE

CONNECTION TO EXISTING MANHOLE DETAIL

NOT TO SCALE

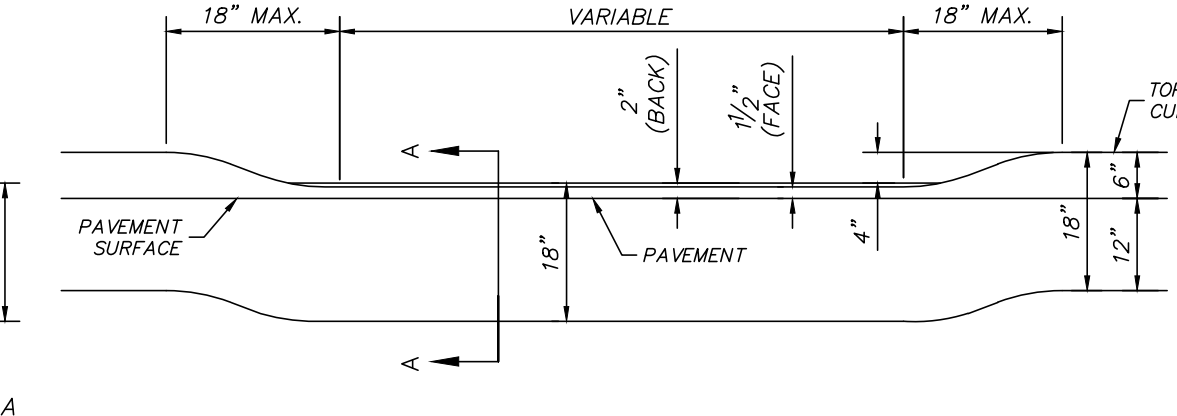


4" THICK, CLASS "B" 4500 p.s.i. CONCRETE, AIR ENTRAINMENT

SUITABLE COMPACTED SUBGRADE

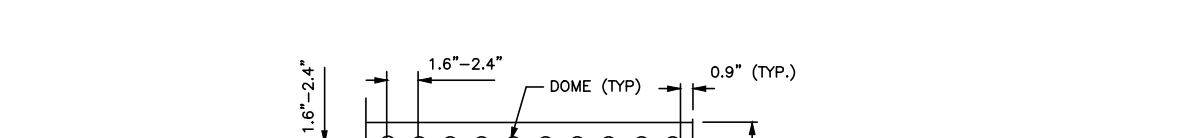
HANDICAP RAMP DETAIL

NOT TO SCALE



DEPRESSED CURB DETAIL

NOT TO SCALE

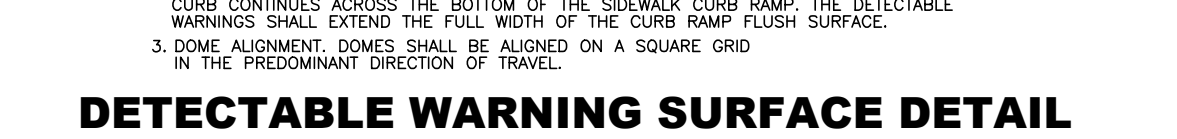


4" THICK, CLASS "B" 4500 p.s.i. CONCRETE, AIR ENTRAINMENT

SUITABLE COMPACTED SUBGRADE

DETECTABLE WARNING SURFACE DETAIL

NOT TO SCALE

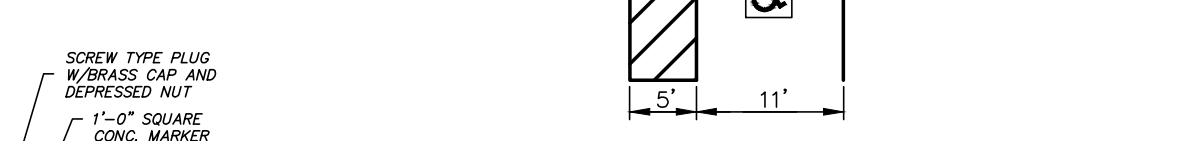


4" WIDE PAINTED BLUE STRIPING

24" O.C. 45° STRIPES

HANDICAP STRIPING DETAIL

NOT TO SCALE



4" THICK, CLASS "B" 4500 p.s.i. CONCRETE, AIR ENTRAINMENT

SUITABLE COMPACTED SUBGRADE

HANDICAP PARKING DETAIL

NOT TO SCALE

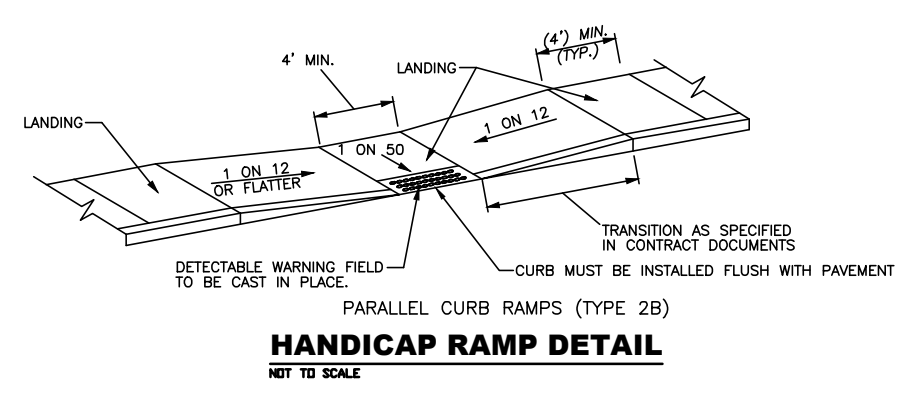


4" THICK, CLASS "B" 4500 p.s.i. CONCRETE, AIR ENTRAINMENT

SUITABLE COMPACTED SUBGRADE

STANDARD PIPE BEDDING FOR P.V.C. PIPE

N.T.S.



HANDICAP RAMP DETAIL

NOT TO SCALE

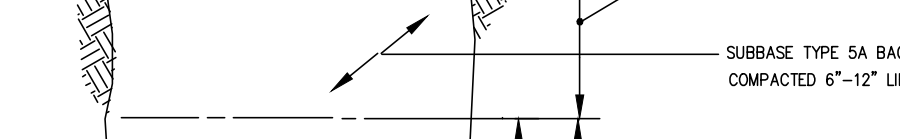


4" THICK, CLASS "B" 4500 p.s.i. CONCRETE, AIR ENTRAINMENT

SUITABLE COMPACTED SUBGRADE

HANDICAPPED PARKING SYMBOL

NOT TO SCALE

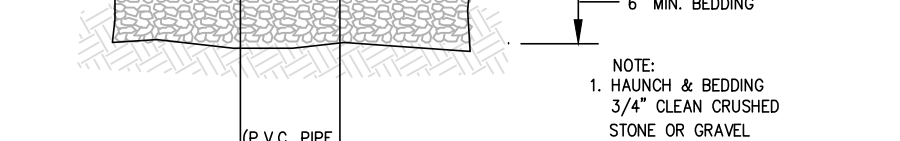


4" THICK, CLASS "B" 4500 p.s.i. CONCRETE, AIR ENTRAINMENT

SUITABLE COMPACTED SUBGRADE

STANDARD PIPE BEDDING FOR P.V.C. PIPE

N.T.S.

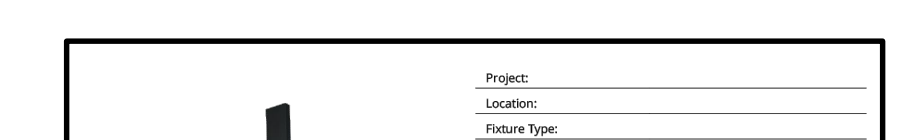


4" THICK, CLASS "B" 4500 p.s.i. CONCRETE, AIR ENTRAINMENT

SUITABLE COMPACTED SUBGRADE

MODERN FORMS

NOT TO SCALE



4" THICK, CLASS "B" 4500 p.s.i. CONCRETE, AIR ENTRAINMENT

SUITABLE COMPACTED SUBGRADE