

SPECIFICATIONS

Middleton Surf House #2

22 Surf St

Sea Bright, NJ

Lot 14, Block 11

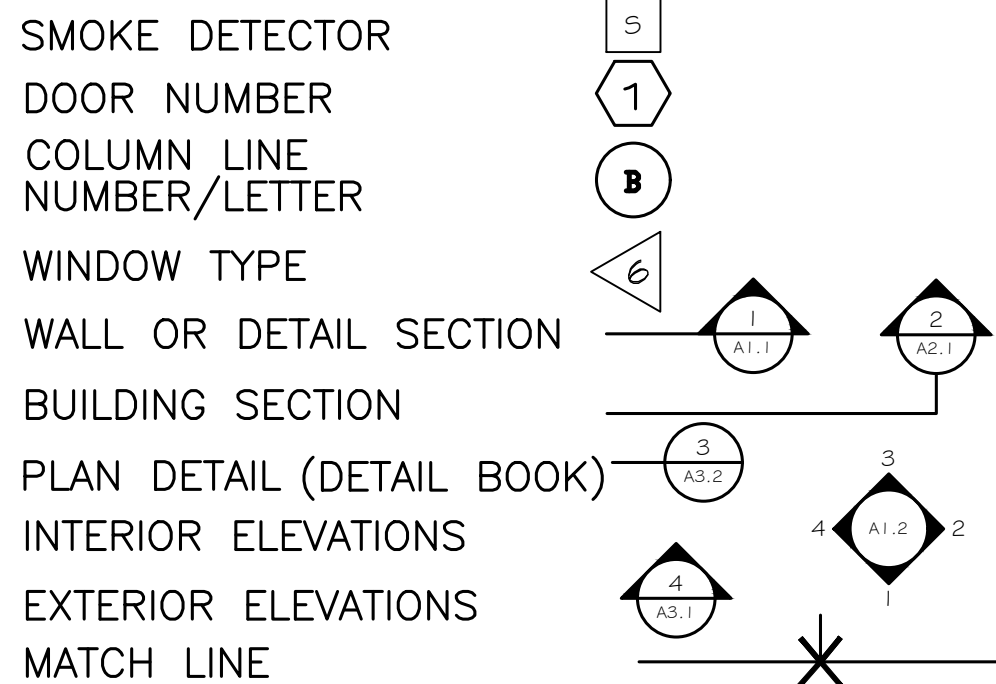
Monmouth County

ABBREVIATIONS

SYMBOLS

THIS ABBREVIATION LIST IS A STANDARD AND NOT ALL ABBREVIATIONS ARE NECESSARILY USED ON THIS PROJECT.

AB. ABOVE	G.C. GENERAL CONTRACTOR	RCB. RESKIN EXISTING CHALKBOARDS
AC.T. ACUSTIC TILE	GRD. GRADE	REG. REGUOL
ANC. ANCHOR	GL. GLASS	RENF. REINFORCED or REINFORCING
A.F.F. ABOVE FINISHED FLOOR	GA. GAUGE	R.D. ROOF DRAIN
ALUM. ALUMINUM	G.W.B. GYPSUM WALLBOARD	REQD. REQUIRED
ALT. ALTERNATE	H.C. HOLLOW CORE	R.A. RETURN AIR
ARCH. ARCHITECTURAL	H.M. HOLLOW METAL	R.O. ROUGH OPENING
AT AT	HOR. HORIZONTAL	R. RISER or RADIUS or RUBBER
BIT. BITUMINOUS	HGT. HEIGHT	REC. RECESSED
BLD. BUILDING	HDW. HARDWARE	RM. ROOM
B.M. BENCH MARK	HVAC HEATING, VENTILATING & AIR CONDITIONING	R.W.C. RAIN WATER CONDUCTOR
BD. BOARD	ID. INSIDE DIAMETER	REXN. RESKIN EXISTING TACKBOARD
BLK. BLOCK	INSUL. INSULATION	RELOC. & RESKIN EXISTING CHALKBOARD
BOT. BOTTOM	INT. INTERIOR	RESKIN EXISTING CHALKBOARD WITH MARKER BOARD
BRG. BEARING	INTV. INVERT	S. SEALED CONCRETE
BSMT. BASEMENT	IT. JOINT BEARING ELEVATION	S.A. SUPPLY AIR
BOD. BOTTOM OF DECK	JBE. JOINT BEARING ELEVATION	S.C. SOLID CORE
C. CARPET	KIT. KITCHEN(ETTE)	SCH. SCHEDULE
CAB. CABINET	L. LATEX PAINT	SECT. SECTION
CB. CHALKBOARD	L.L.V. LONG LEG VERTICAL	SH. SHELF or SHEATHING
C.J. CONTROL JOINT	L.L.H. LONG LEG HORIZONTAL	SM. SIMILAR
CONC. CONCRETE	L.F. LINEAL FEET	S.F.C.M.U. SPLIT-FACE CONC. MASONRY UNIT
CONT. CONTINUOUS	L.M. LAMINATE	SO. SQUARE
C.M.U. CONCRETE MASONRY UNIT	L.V. LAVATORY	S.S. STAINLESS STEEL or SERVICE SINK
CL. CLEAR	L.M.F. LIGHT METAL FRAMING	STD. STANDARD
CONSTR. CONSTRUCTION	M. METAL PAN	STL. STEEL
CONTR. CONTRACTOR	M.B. MARKER BOARD	STR. STRUCTURAL
CLG. CEILING	MAS. MASONRY	SYN. SYNTHETIC
COL. COLUMN	MAX. MAXIMUM	TV. WALL MOUNTED TV BRACKETS
COORD. COORDINATE	MEN. MINIMUM	T. TREAD or TERRAZZO
C.T. CERAMIC TILE	MAT. MATERIAL	T.F.G. TEMPERED FLOAT GLASS
CL. CENTER LINE	MTC. MOUNTING MECHANICAL CONTRACTOR	THK. THICKNESS
DET. DETAIL	M.C. MECHANICAL	T.M. TOP OF MASONRY
DWG. DRAWING	MANUF. MANUFACTURER	T.O.P. TOP OF PLANK
DR. DOOR	M.A.S. MASONRY OPENING	TYP. TYPICAL
DN. DOWN	M.O. MOISTURE RESISTANT	T.O.S. TOP OF STEEL
DM. DIMENSION	M.R.G.W.B. MOISTURE RESISTANT GYPSUM WALLBOARD	TR. THRESHOLD
# DIAMETER	N. NO FINISHES	TL. TOP OF FOOTING ELEVATION
E. EXIST.	NO. NUMBER	U.N.O. UNLESS NOTED OTHERWISE
ELEC. ELECTRICAL	NOM. NOMINAL	V. VINYL BASE
ELEV. ELEVATION	N.T.S. NOT TO SCALE	VERT. VERTICAL
E.C. ELECTRICAL CONTRACTOR	O.C. ON CENTER	V.C.T. VINYL COMPOSITION TILE
EXP. EXPOSED or EXPANSION	OPNG. OPENING	W. WOOD FLOORING
EXT. EXTERIOR	OSCI. OWNER SUPPLIED / CONTRACTOR INSTALLED	WR. WOOD REFRESH (EXISTING)
EL. ELEVATION	PS. PROJECTION SCREEN	W/ WITH
EA. EACH	PART. PARTITION	W/O WITH OUT
EQ. EQUAL	P.C. PLUMBING CONTRACTOR	WOOD WOOD
EQUIP. EQUIPMENT	PTD. PAINTED	WIN. WINDOW
E.W. EACH WAY	PLAM. PLASTIC LAMINATE	W.G. WIRE GLASS
ETR. EXISTING TO REMAIN	PSF. POUNDS PER SQUARE FOOT	W.W.M. WELDED WIRE MESH
ET. EXISTING TERRAZZO	PSI. POUNDS PER SQUARE INCH	XP. EXPOSED PAINT
F.D. FLOOR DRAIN	PLYMD. PLYWOOD	
FDN. FOUNDATION	R. RAILING	
F.G. FIBERGLASS	± PLUS OR MINUS	
FL. FLOOR	QT. QUARRY TILE	
FL. FINISH(ED)		
FT. FOOT or FEET		
FTG. FOOTING		
FURK. FURRING		
F.C.G.W.B. FIRE CODE GYPSUM WALLBOARD		
FE. FINISHED FLOOR ELEVATION		
FFV. FIELD VERIFY		



NOTES

- GENERAL NOTES:
1. ALL WORK SHALL CONFORM TO APPLICABLE NATIONAL, STATE AND LOCAL CODES.
 2. ONE SET OF CURRENT, APPROVED DRAWINGS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
 3. NO WORK SHALL COMMENCE UNTIL APPROVAL HAS BEEN GRANTED FROM THE BUILDING DEPARTMENT HAVING JURISDICTION. CONTRACTOR IS RESPONSIBLE FOR SECURING ALL PERMITS AND INSPECTIONS REQUIRED BY THE AGENCIES TRAVING JURISDICTION.
 4. DRAWINGS SHALL NOT BE SCALED. CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, ELEVATIONS AND OPENINGS PRIOR TO COMMENCING ANY WORK. DISCREPANCIES OR OMISSIONS FROM THE PLANS AND/OR SPECIFICATIONS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
 5. CONTRACTOR IS RESPONSIBLE FOR CLEANUP AND HAULING AWAY ANY TRASH, CONSTRUCTION OR DEMOLITION DEBRIS GENERATED FROM THEIR WORK. CONTRACTORS SHALL CONFORM TO ALL LOCAL RECYCLING AND HAULING GUIDELINES.
 6. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE SCOPE OF WORK.
 7. CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES, AND PROVIDE REQUIRED CHASES AND POCKETS AS SHOWN AND/OR REQUIRED TO COMPLETE THE WORK.
 8. CONTRACTOR SHALL PROTECT ANY SURFACES/ CONSTRUCTION TO REMAIN FROM DAMAGE. CONTRACTOR SHALL PATCH EXISTING SURFACES DAMAGED OR AFFECTED BY THE WORK.
 9. CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, INCLUDING JOB SITE SAFETY MEASURES, TEMPORARY SHORING AND/OR SUPPORT OF IN PLACE CONSTRUCTION.
 10. CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES PRIOR TO COMMENCING WORK.
 11. ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT, AND THEIR USE SHALL BE LIMITED TO THE PROJECT NOTED.
 12. IT IS A VIOLATION OF THE NEW JERSEY STATE EDUCATION LAW, ARTICLE 145, SECTION 7209, FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT, ENGINEER OR LAND SURVEYOR, TO ALTER ANYTHING ON THESE DRAWINGS.

DRAWING INDEX

CV	COVER SHEET
L1	SITE PLAN
A101	PLANS
A102	FOUNDATION AND ROOF PLANS
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS

CODE REVIEW

APPLICABLE CODES: 2018 NEW JERSEY STATE RESIDENTIAL CODE, 2018 NEW JERSEY STATE ENERGY CONSERVATION CODE

BY SIGNING THESE DOCUMENTS, THE ARCHITECT HAS CONFIRMED THAT THE CONSTRUCTION METHODS AND MATERIALS SHOWN MEET THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW JERSEY.

LOADING		
LOCATION	LIVE LOAD	DEFLECTION
LIVING AREAS	40	L/360
SLEEPING ROOMS	30	L/360

HIGHLIGHTED ELEMENTS OF APPLICABLE CODE REQUIREMENTS

1. ANY GLASS WITHIN 5'-0" OF A STAIR BOTTOM or WITHIN 18" OF FINISHED FLOOR or A TUB SURROUND MUST BE TEMPERED.
2. WINDOWS IN BEDROOMS MUST MEET EGRESS REQUIREMENTS WITH AT LEAST 5.7 SF OF OPENING MINIMUM 20" WIDE AND MINIMUM 2'-0" HIGH. EGRESS WINDOWS IN BEDROOMS OTHER THAN BEDROOMS WITH EXTERIOR DOORS, MUST HAVE SILL HEIGHTS NO HIGHER THAN 3'-6" ABOVE FINISHED FLOOR (IRC SECTION R310.2.2).
3. THE WINDOW AREA IN BEDROOMS MUST BE AT LEAST 8% OF THE BEDROOM FLOOR AREA. AT LEAST 4% OF THE FLOOR AREA MUST BE OPERABLE WINDOW AREA.
4. STAIRS: MAXIMUM RISE= 8-1/4" (2011 SUPPLEMENT)
MINIMUM TREAD: 4" PLUS 3/4" NOSING (2011 SUPPLEMENT)
MINIMUM WIDTH: 2'-0" CLEAR BETWEEN HANDRAILS
MINIMUM HEADROOM: 6'-8" MEASURED ALONGS LINE CONNECTING NOSINGS
RAILINGS- MAX. OPENING: 4"
HANDRAIL HEIGHT: 2'-0" ABOVE TREAD AT NOSING
GUARD RAIL HEIGHT: 3'-0" ABOVE FINISHED FLOOR.
5. CODE MINIMUM CEILING HEIGHT IN OCCUPIED SPACES IS 7'-0".
6. MINIMUM ROOM AREA IS 70sqf.
7. MINIMUM CLEARANCE IN FRONT OF TOILET IS 1'-4", 1'-3" TO SIDE WALL.
8. MINIMUM 2x HOOD FIRE AND DRAFT STOPPING REQUIRED IN ALL CONCEALED FLOOR ASSEMBLIES AT MAXIMUM 10ft INTERVALS.
9. BOLT THROUGH CONNECTIONS TO PORCH AND DECK POSTS NOT PERMITTED. PROVIDE DIRECT BEARING or APPROVED CONNECTOR.
10. PROVIDE ARC FAULT BREAKERS ON ALL 120v CIRCUITS UNLESS HARD WIRED.



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Email: gmmiddle@gmail.com

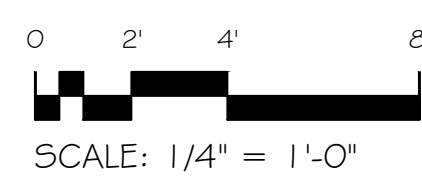
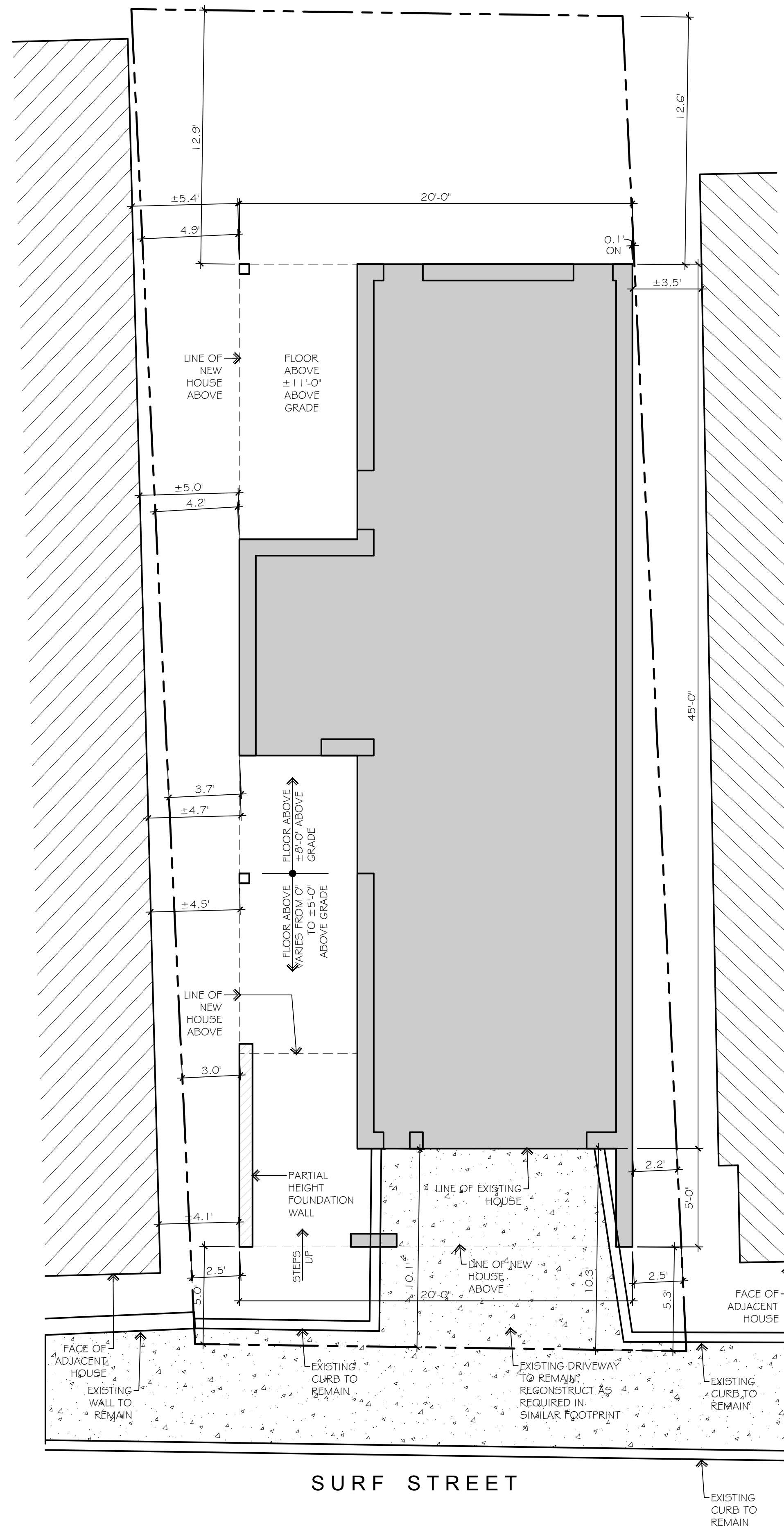
Middleton Surf House #2
22 Surf St
Sea Bright, NJ 07760
Lot 14, Block 11
Monmouth County

DATE 5.4.2022
SCALE AS NOTED
DRAWN BY B5M
TITLE

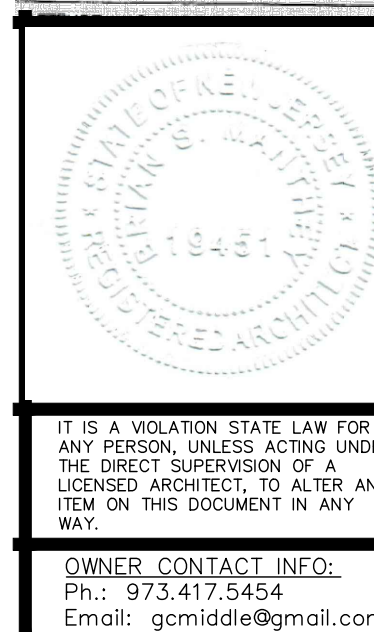
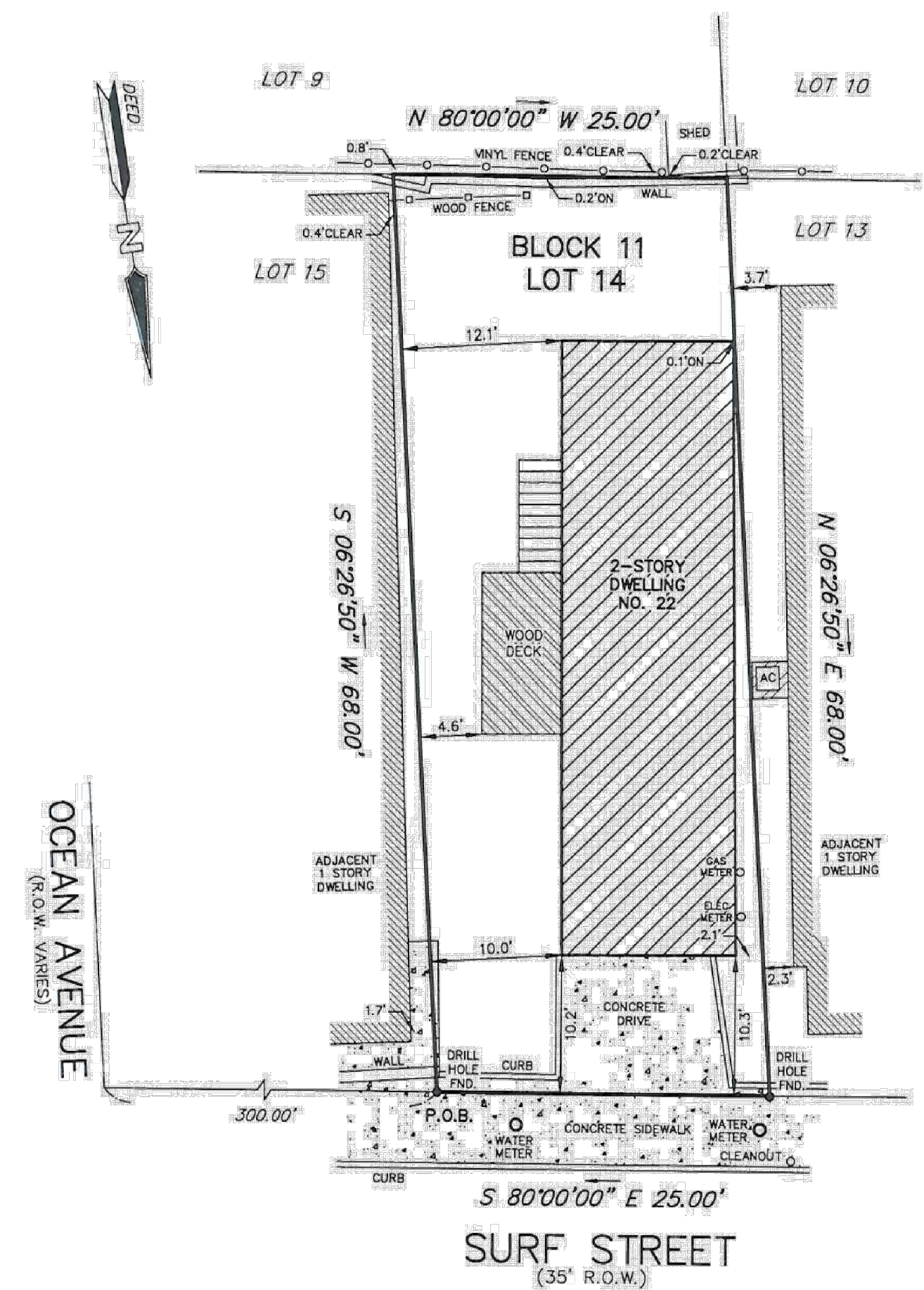
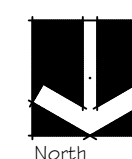
COVER SHEET
CV

	ZONING	USE	MINIMUM LOT SIZE	MINIMUM YARD DIMENSIONS			MAXIMUM BUILDING HEIGHT	MAXIMUM BUILDING COVERAGE	MAXIMUM LOT COVERAGE	MINIMUM GFA TOTAL	
				FRONT SETBACK	EITHER SIDE	BOTH SIDES					REAR SETBACK
REQUIRED	R-3 DOWNTOWN RESIDENTIAL	SINGLE FAMILY	1800sf	5-12ft	3ft	6ft	15ft	BASE 38ft *94.22%=35.8ft (BFE=8ft+3ft)	50%	70%	880sf
EXISTING			1696sf (94.22%)	10.2'	0.1ft	4.7ft	12.6ft	±28ft 13x45' DECK 70sf =38.6%	±40%		1170sf
PROPOSED			1696sf (UNCHANGED)	5.3'	0.1ft (UNCHANGED)	3.1ft	12.6ft (UNCHANGED)	38'-0" 2 STORIES + ATTIC 696sf (SHADED AREA) =41.3%	20x50sf =58.9%		3134sf
PROPOSED COMPLIES w/ REQUIREMENT?		YES	NO	YES	NO	NO	NO	YES	YES	YES	YES
VARIANCE SOUGHT		NO	EXISTING NON-CONFORMING TO REMAIN	NO	EXISTING NON-CONFORMING TO REMAIN	YES	EXISTING NON-CONFORMING TO REMAIN	NO	NO	NO	NO

GROUND LEVEL 696sf
1st FLOOR 870sf
2nd FLOOR 1000sf
ATTIC LEVEL 269sf
TOTAL 2835sf



1 SITE PLAN
1/4"=1'-0"

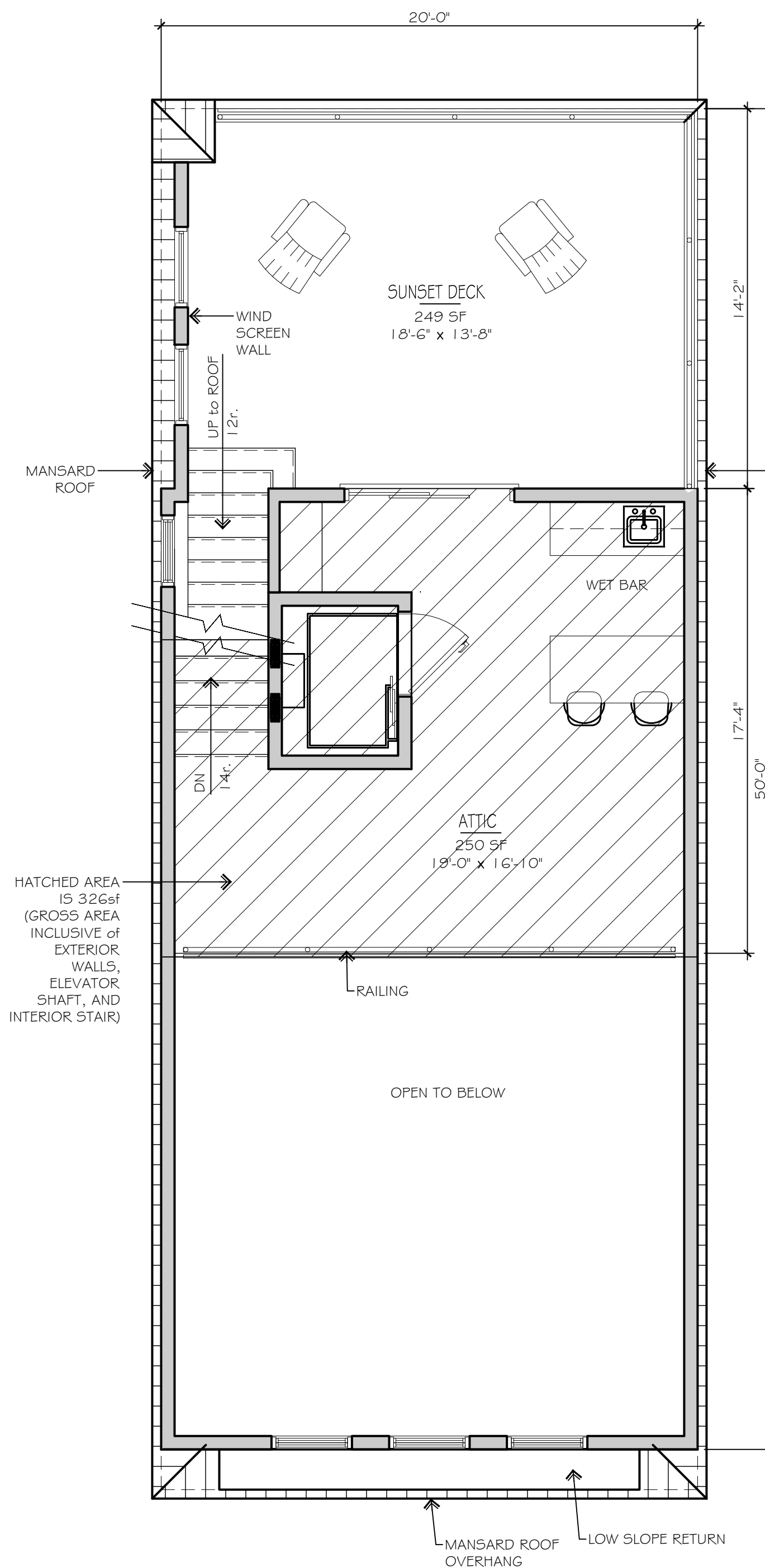


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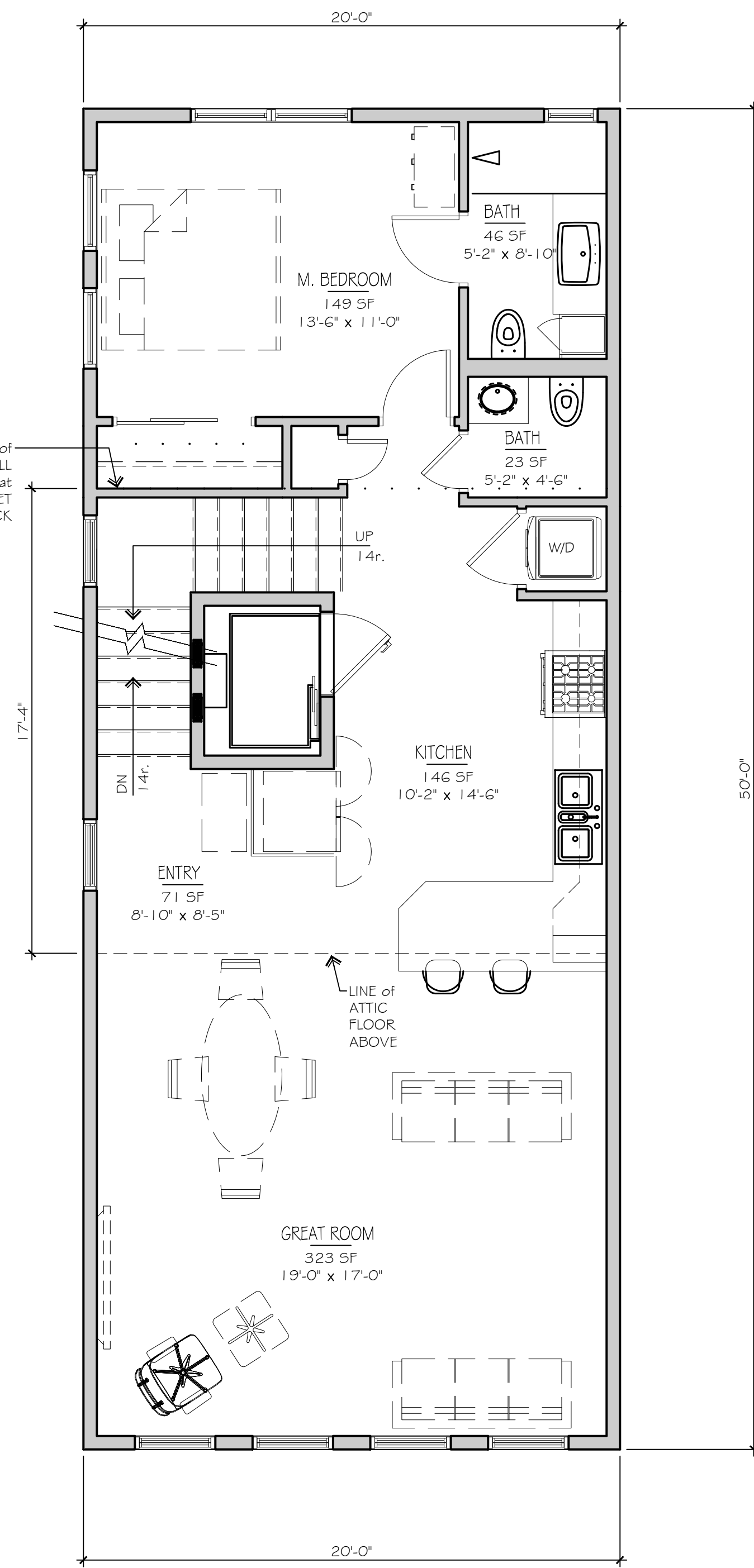
DATE 5.4.2022
SCALE 1/4"=1'-0"
DRAWN BY BSM

TITLE PRELIMINARY SITE PLAN & ZONING

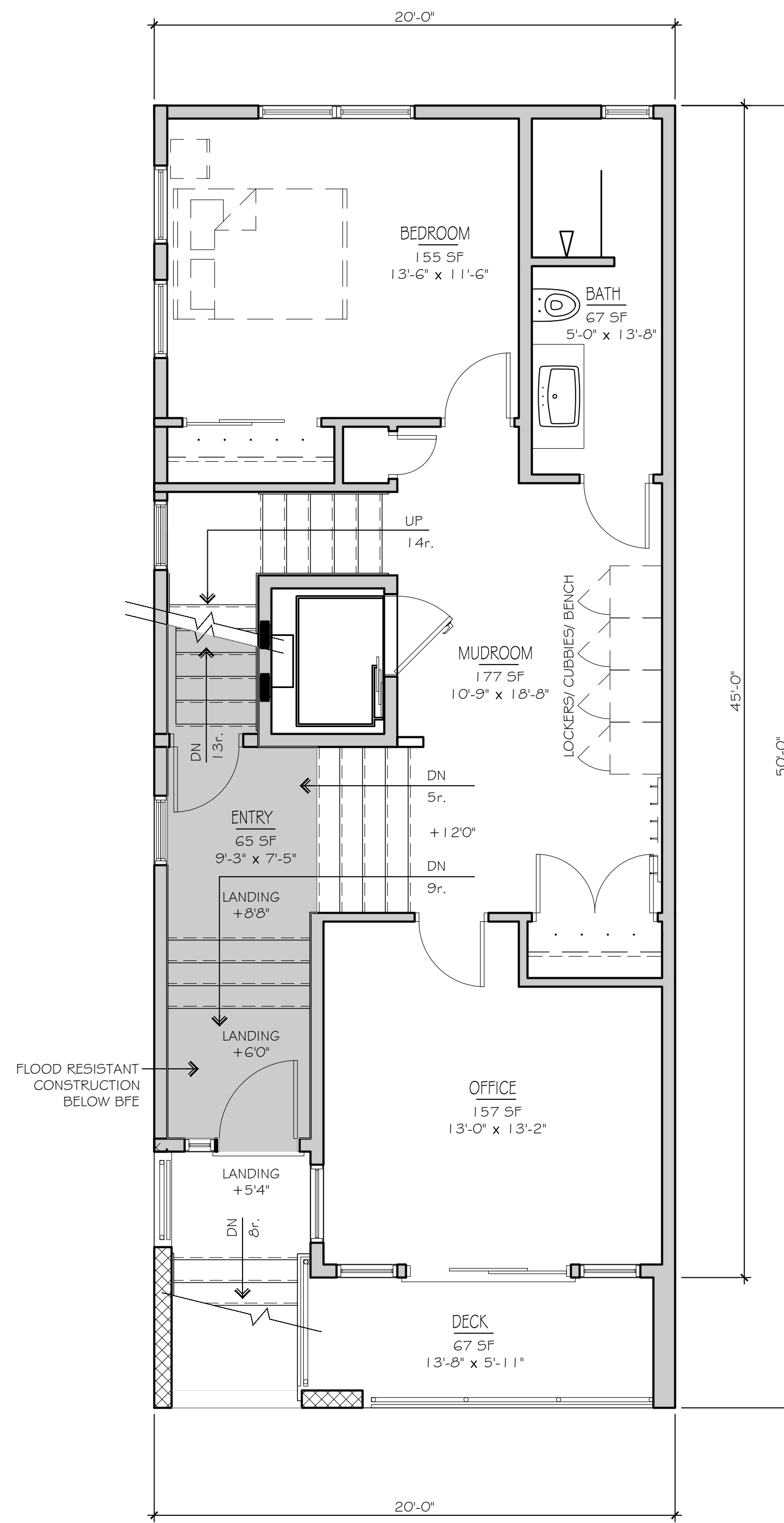
L1



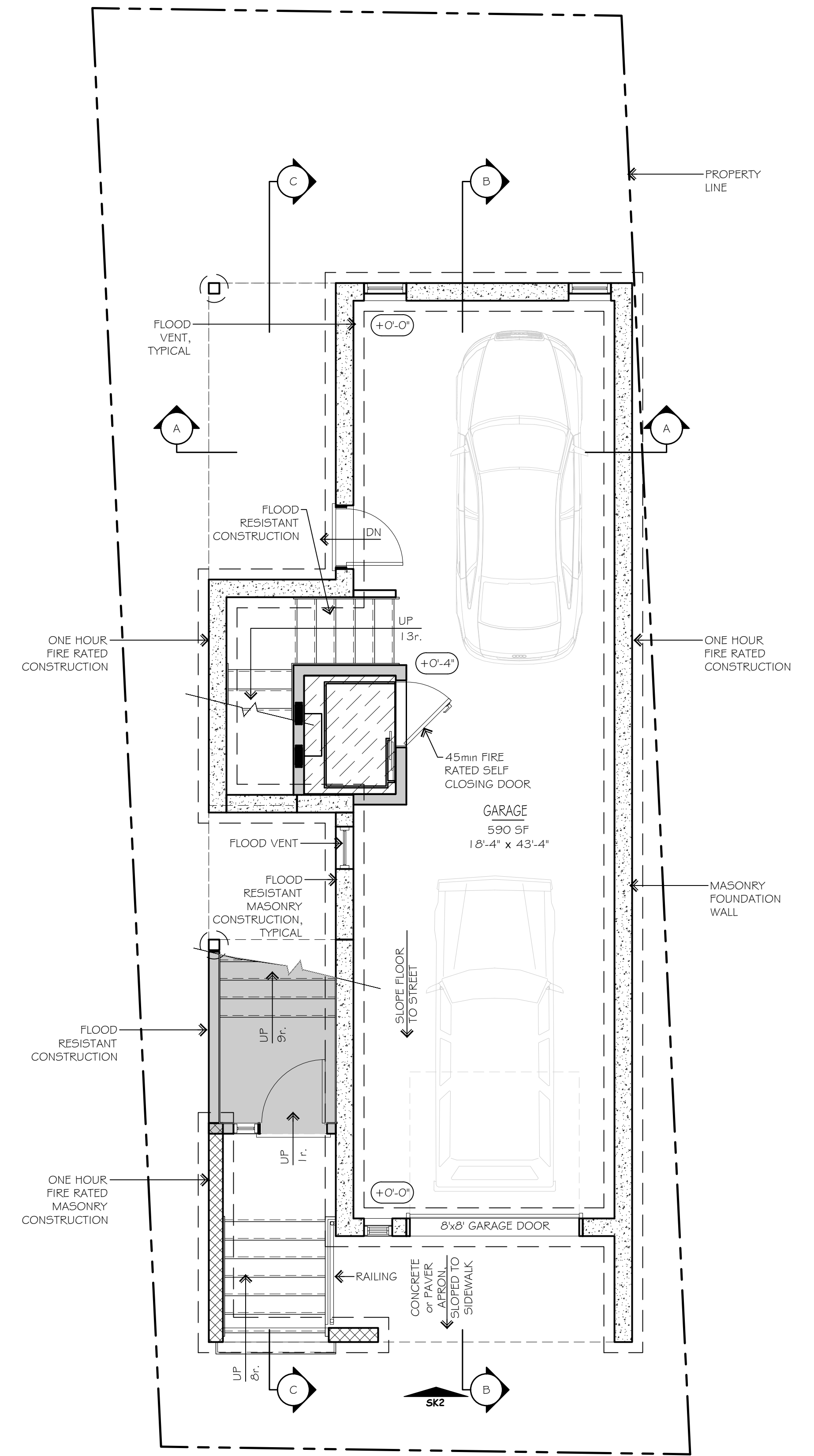
ATTIC FLOOR PLAN
1/4"=1'-0" 326sf



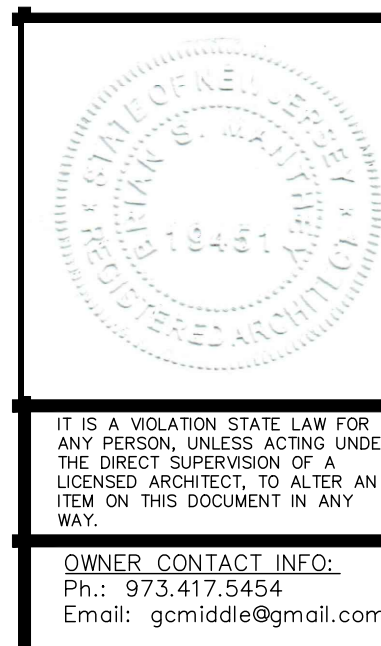
2nd FLOOR PLAN
1/4"=1'-0" 1,000sf



1st FLOOR PLAN
1/4"=1'-0" 670sf



GROUND FLOOR PLAN
1/4"=1'-0" 696sf

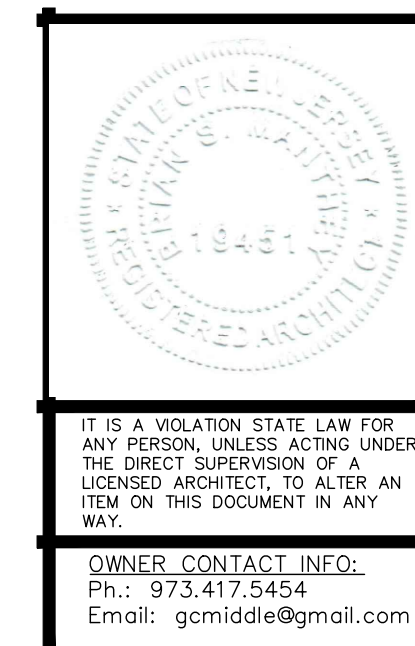
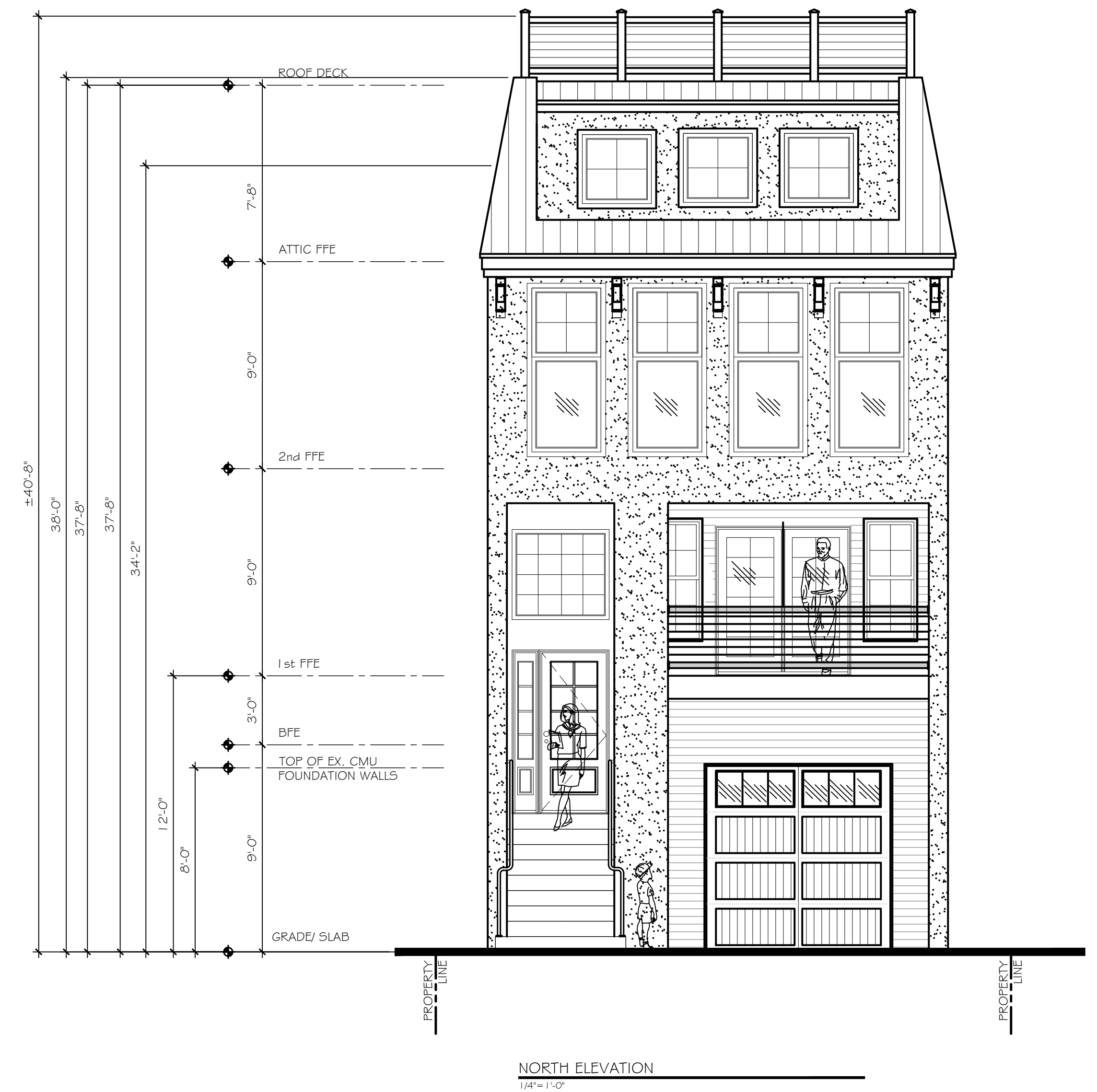
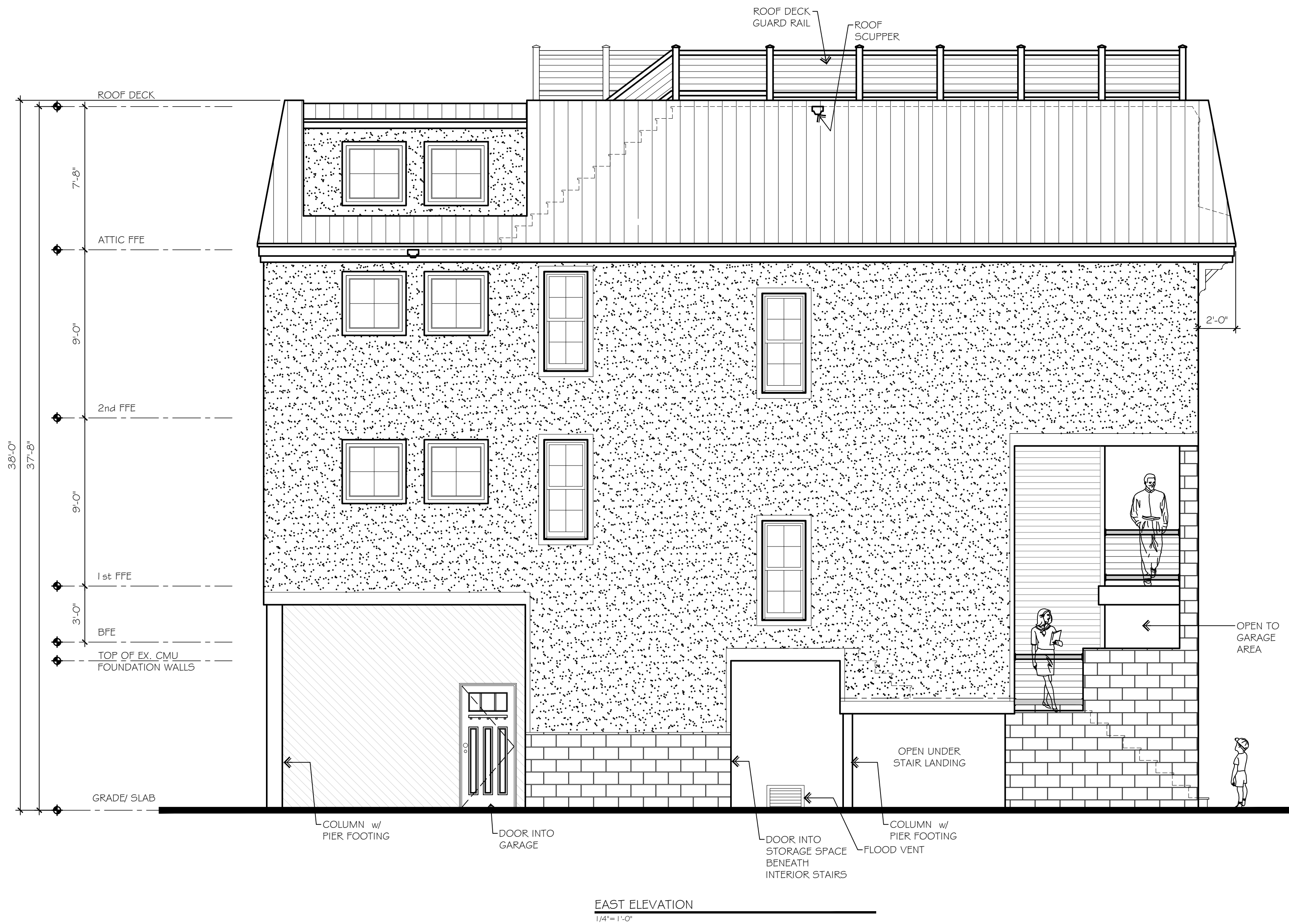


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DATE 5.4.2022
SCALE 1/4"=1'-0"
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TITLE PRELIMINARY PLANS

A101

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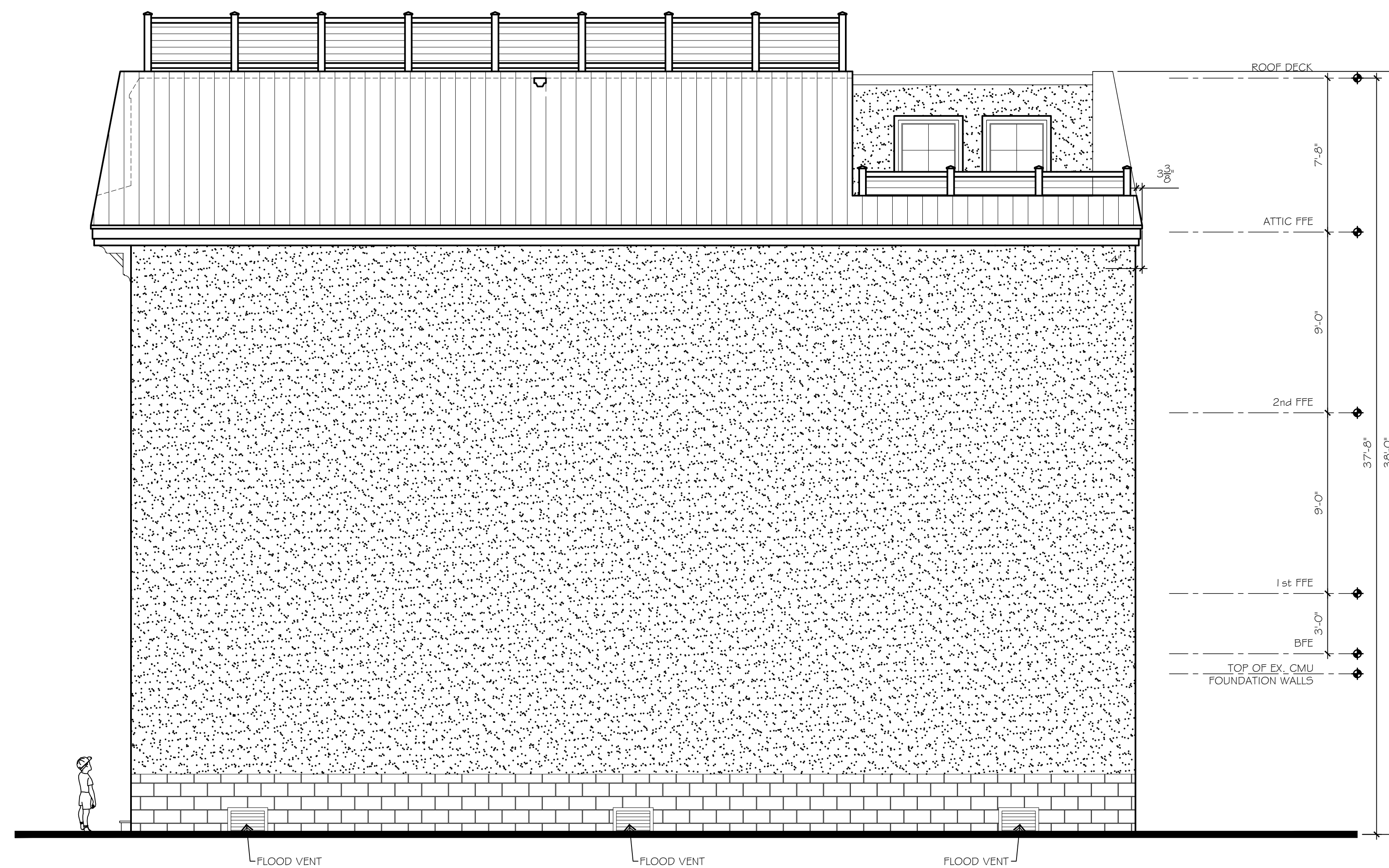
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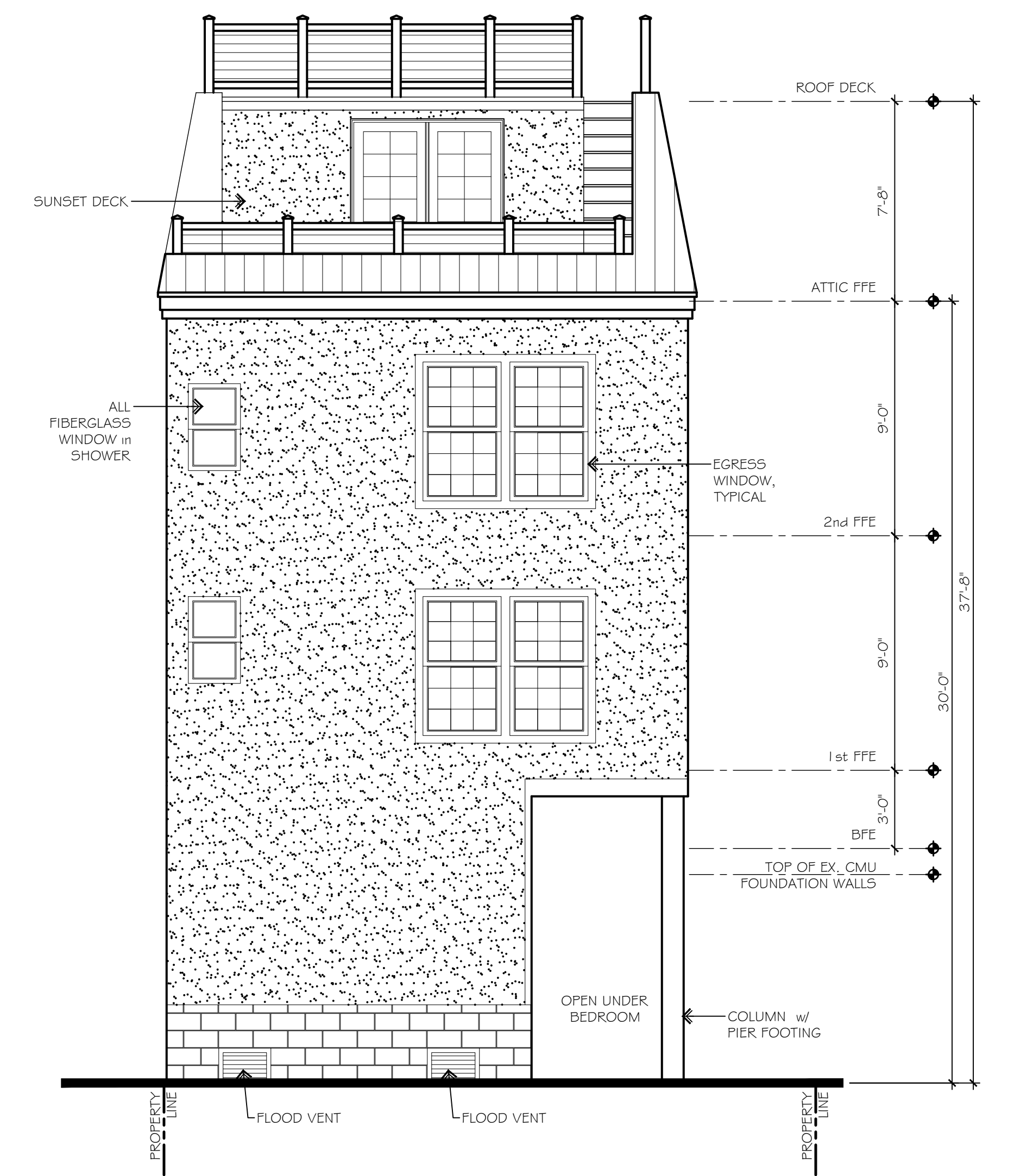
TITLE
 EXTERIOR ELEVATIONS & BUILDING SECTIONS

A201

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WEST ELEVATION
1/4"=1'-0"



SOUTH ELEVATION
1/4"=1'-0"



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EXTERIOR ELEVATIONS & BUILDING SECTIONS

A202

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