

TAX MAP SHEET No. 10
SCALE: 1" = 85' ±

LIST OF UTILITY COMPANIES

BOROUGH OF SEA BRIGHT 1167 OCEAN AVENUE SEA BRIGHT, NJ 07760 (732) 842-0099	STATE OF NEW JERSEY (FOR HWY. 36) COMMISSIONER, DEPARTMENT OF TRANSPORTATION 1035 PARKWAY AVENUE P.O. BOX 600 TRENTON, NJ 08625 (732) 625-4340
COMCAST 403 SOUTH STREET EATONTOWN, NJ 07724 (732) 217-6251	STATE OF NEW JERSEY (FOR COASTAL WATERS) DIVISION OF COASTAL RESOURCES P.O. BOX 401 TRENTON, NJ 08625
NEW JERSEY AMERICAN WATER COMPANY DONNA SHORT, GIS SUPERVISOR 1025 LAUREL OAK ROAD WOODRIDGE, NJ 08043 (856) 346-8200	TWO RIVERS WATER RECLAMATION AUTHORITY DENNIS GALVIN, P.E. 1 HIGHLAND AVENUE MONMOUTH BEACH, NJ 07750 (732) 229-8578
NEW JERSEY NATURAL GAS COMPANY 16 WEST HIGHLAND AVENUE ATLANTIC HIGHLANDS, NJ 07716 (732) 919-8000	VERIZON ATTN: CORP. SECRETARY/ROW AGENT 175 W. MAIN STREET FRESHKILL, NJ 07728 (609) 837-4966
JOPAL 2800 POTTSVILLE PIKE P.O. BOX 16001 READING, PA 19640-0001 (800) 662-3115	MONMOUTH COUNTY PLANNING BOARD HALL OF RECORDS ANNEX 1 EAST MAIN STREET FRESHKILL, NJ 07728 (732) 431-7460
POLICE DEPARTMENT BOROUGH OF SEA BRIGHT 1099 OCEAN AVENUE SEA BRIGHT, NJ 07760 (732) 842-0010	NEW JERSEY ONE-CALL (800) 272-1000

ZONING MAP
SCALE: 1" = 300' ±

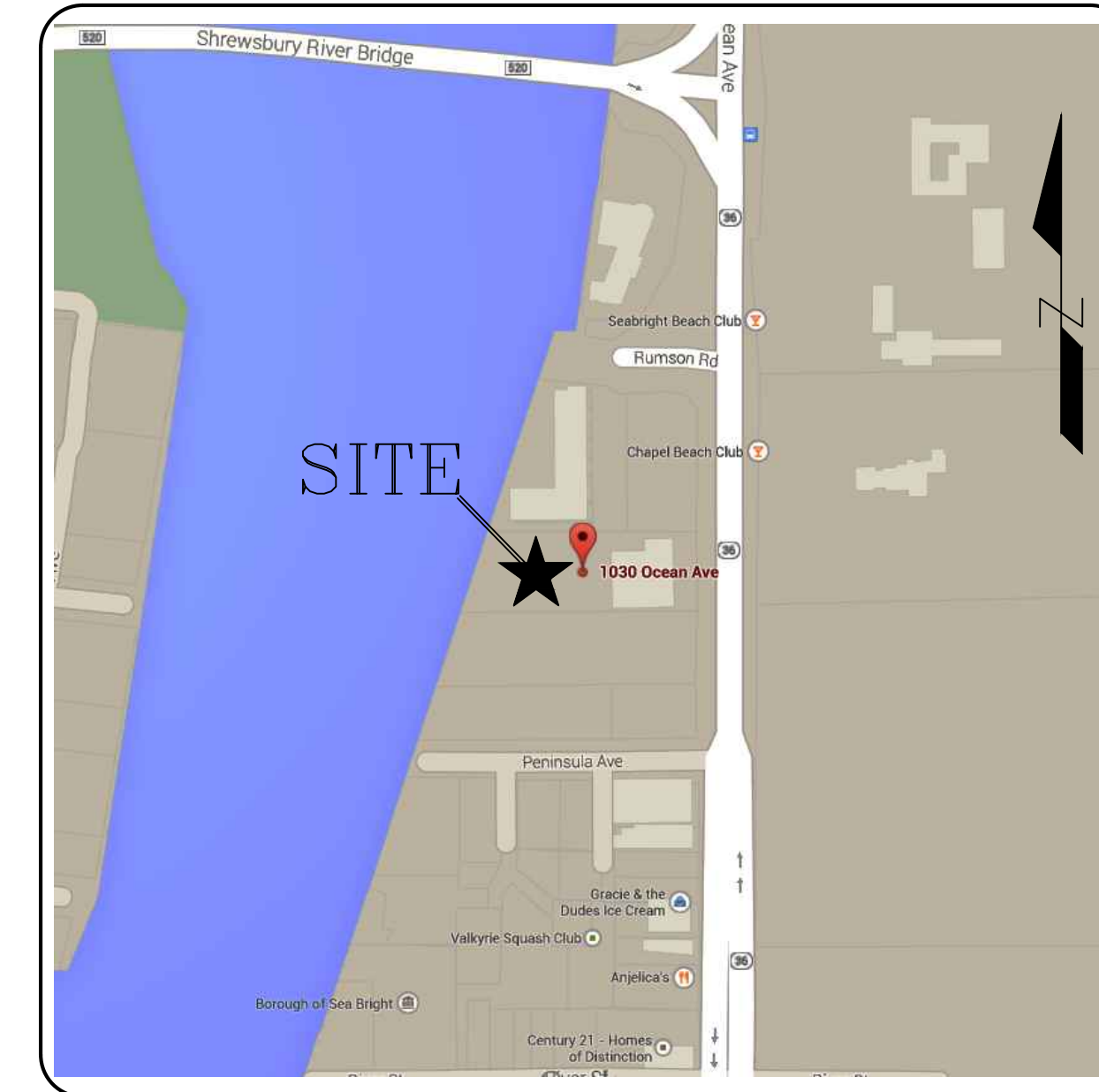


PROPERTY OWNERS WITHIN 200 FT:

BLOCK	LOT	CLASS	PROPERTY OWNER	PROPERTY LOCATION
16	9	4A	OCEANSPRING REALTY ASSOCIATES 1410 OCEAN AVENUE SEA BRIGHT, NJ 07760	1050 OCEAN AVENUE
16	10	2	ADAMS, JAMES R. & JO-ANN K. 1194 OCEAN AVENUE, UNIT B2 SEA BRIGHT, NJ 07760	4 PENNSULA AVENUE
16	11	1	ENERGY EFFICIENT BUILDERS, LLC 141 JUMPING BROOK ROAD LINCOLN, NJ 07738	6 PENNSULA AVENUE
16	16	2	ROTCHEFORD, JANET 54 NAVENNA AVENUE RUMSON, NJ 07760	14 PENNSULA AVENUE
16	17	2	BERGEN SINGLE FAMILY HOMES, LLC 37 MERRIDIAN ROAD EDISON, NJ 08820	16 PENNSULA AVENUE
17	1	1	KALAKA, JOANN 1184 OCEAN AVENUE, UNIT B2 SEA BRIGHT, NJ 07760	1042 OCEAN AVENUE
17	2	1	KALAKA REALTY 1184 OCEAN AVENUE, UNIT B2 SEA BRIGHT, NJ 07760	1 PENNSULA AVENUE
17	3	2	SBSP, LLC 95 AVENUE OF TWO RIVERS RUMSON, NJ 07760	1040 OCEAN AVENUE
17	5	1	SUNCO, INC. (RAM) ANDREWS 1900 DALROCK ROAD ROWLETT, TX 75088	1010 OCEAN AVENUE
17	6	1	NAUTILUS HOMEOWNERS ASSOCIATION PO BOX 8508 RED BANK, NJ 07701	2 RUMSON ROAD
17.01	1	2	NAPPO, JOSEPH & CHRISTINE 45 SAGAMORE AVENUE OCEANPORT, NJ 07757	2 RUMSON ROAD, UNIT 1
17.01	2	2	THAKKER, CHRISTINE PO BOX 496 RUMSON, NJ 07760	2 RUMSON ROAD, UNIT 2
17.01	3	2	MORROWHOUSE, SCOTT 2 RUMSON ROAD, UNIT 3 SEA BRIGHT, NJ 07760	2 RUMSON ROAD, UNIT 3
17.01	4	2	VARDAKAS, EMANUEL & DAWN A. 4020 CONTACT ROAD MOUNT PLEASANT, SC 29466	2 RUMSON ROAD, UNIT 4
17.01	5	2	AGOSTINO, MARGARET 2 RUMSON ROAD, UNIT 5 SEA BRIGHT, NJ 07760	2 RUMSON ROAD, UNIT 5
17.01	6	2	KARATZIA, HARRY 10 BEECH ROAD ISLIP, NY 11750	2 RUMSON ROAD, UNIT 6
17.01	7	2	KARATZIA, HARRY 10 BEECH ROAD ISLIP, NY 11750	2 RUMSON ROAD, UNIT 7
17.01	8	2	PATTISON, THOMAS & JANICE 54 GANSEVOORT BLVD. STATEN ISLAND, NY 10314	2 RUMSON ROAD, UNIT 8
17.01	9	2	MC LYNN, DENNIS & MARY A. 107 CANDE BROOK PARKWAY SUMMIT, NJ 07901	2 RUMSON ROAD, UNIT 9
17.01	10	2	WILLIAMS, SAMUEL M. & TRACY A. 107 VAN OUYER STREET STATEN ISLAND, NY 10304	2 RUMSON ROAD, UNIT 10
17.01	11	2	KARATZIA, HARRY 10 BEECH ROAD ISLIP, NY 11750	2 RUMSON ROAD, UNIT 11
17.01	12	2	STEARNS, JOEL M. 403 MT. KENBEE AVENUE MORRISTOWN, NJ 07960	2 RUMSON ROAD, UNIT 12
17.01	14	2	CARR, JARED A. 2 RUMSON ROAD, UNIT 14 SEA BRIGHT, NJ 07760	2 RUMSON ROAD, UNIT 14
17.01	15	2	LANGAN, DANIEL F. 2 RUMSON ROAD, UNIT 15 SEA BRIGHT, NJ 07760	2 RUMSON ROAD, UNIT 15
17.01	16	2	CASSIDY, DENISE A. 2 RUMSON ROAD, UNIT 16 SEA BRIGHT, NJ 07760	2 RUMSON ROAD, UNIT 16
17.01	17	2	MC GURE, GRACE 2 RUMSON ROAD, UNIT 17 SEA BRIGHT, NJ 07760	2 RUMSON ROAD, UNIT 17
17.01	18	2	MC CLAIN, MELISSA 2 RUMSON ROAD, UNIT 18 SEA BRIGHT, NJ 07760	2 RUMSON ROAD, UNIT 18
17.01	19	2	KEELAN, KEVIN J. 2 RUMSON ROAD, UNIT 19 SEA BRIGHT, NJ 07760	2 RUMSON ROAD, UNIT 19
23	2.01	15C	BORO OF SEA BRIGHT 1167 OCEAN AVENUE SEA BRIGHT, NJ 07760	1061 OCEAN AVENUE
23	2.02	15C	BORO OF SEA BRIGHT 1167 OCEAN AVENUE SEA BRIGHT, NJ 07760	1051 OCEAN AVENUE
23	3	4A	SBSP, LLC 95 AVENUE OF TWO RIVERS RUMSON, NJ 07760	1041 OCEAN AVENUE
23	4	4A	SEA BRIGHT BEACH CLUB 959 OCEAN AVENUE SEA BRIGHT, NJ 07760	1037 OCEAN AVENUE

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1010 - 1030 OCEAN AVENUE AMENDED SITE PLAN BLOCK 17, LOTS 4 & 5 BOROUGH OF SEA BRIGHT MONMOUTH COUNTY, NEW JERSEY



KEY MAP
SCALE: 1" = 200' ±

PRIOR APPLICATION - OFF STREET PARKING REQUIREMENTS

USE	REQUIREMENT	NUMBER	SPACES REQUIRED
SECOND FLOOR	1 PER 3 PERSONS OF LEGAL CAPACITY	80 PERSONS	26.7 SPACES
REAR YARD	1 PER 3 PERSONS OF LEGAL CAPACITY	79 PERSONS	26.3 SPACES
RESTAURANT	1 PER EACH EMPLOYEE	NO CHANGE	-
		TOTAL REQUIRED	53 SPACES
		TOTAL PROVIDED	29 SPACES

(24 SPACE VARIANCE PREVIOUSLY APPROVED)

CURRENT APPLICATION - OFF STREET PARKING REQUIREMENTS

CURRENT APPLICATION DOES NOT INCREASE SEATING. THE PREVIOUSLY APPROVED SITE PLAN DEPICTED 54 SEATS IN FRONT OF THE RESTAURANT. THE CURRENT REQUEST IS TO MOVE THE 54 SEATS TO THE REAR TENT AREA SEASONALLY, AND DURING THE OFF-SEASON MOVE THE 54 SEATS BACK TO THE FRONT OF THE BUILDING.

LOT 4 - TOMMY'S TAVERN
B-R BUSINESS RESIDENTIAL ZONE REQUIREMENTS (CH. 130-50C)

	REQUIRED	EXISTING	PROPOSED	VARIANCE REQ.
MINIMUM LOT AREA	4,000 S.F.	24,811.5 S.F.	24,811.5 S.F.	NO
MINIMUM LOT WIDTH	50 FT	93.42 FT	93.42 FT	NO
MINIMUM LOT DEPTH	60 FT	252.90 FT	252.90 FT	NO
BUILDING SETBACKS				
FRONT YARD	25 FT	23.19 FT	23.19 FT	+
EITHER SIDE	7 FT	0.16 FT (OVER)	0.16 FT (OVER)	-
BOTH SIDES	15 FT	0 FT	0 FT	+
REAR YARD	15 FT	145 FT	145 FT	NO
BUILDING COVERAGE				
MAXIMUM PERMITTED	50%	39.5% (9,810 S.F.)	46.0% (11,410 S.F.)	NO
LOT COVERAGE				
MAXIMUM PERMITTED	70%	52.9% (13,127 S.F.)	59.4% (14,727 S.F.)	NO
HEIGHT LIMITATIONS				
MAX. BLDG. HEIGHT	38 FT	38 FT	38 FT	NO
	3 STORIES	3 STORIES	3 STORIES	NO
MIN. GROSS FLOOR AREA	880 S.F.	> 12,000 S.F.	> 12,000 S.F.	NO

* EXISTING NON-COMFORMITY TO REMAIN
+ VARIANCE PREVIOUSLY GRANTED FOR PROPOSED TRASH AREA AS MEASURED TO LOT 4 SIDE LINE
- OPEN TRELLIS AREAS AND DECK ALONG WATER NOT INCLUDED IN COVERAGE
AREA OF REAR YARD: 10,800 S.F., ACCESSORY TENT IS 14.8% OF THE REAR YARD AREA.

LOT 5 - PARKING LOT
B-R BUSINESS RESIDENTIAL ZONE REQUIREMENTS (CH. 130-50C)

	REQUIRED	EXISTING	PROPOSED	VARIANCE REQ.
MINIMUM LOT AREA	4,000 S.F.	13,515 S.F.	13,515 S.F.	NO
MINIMUM LOT WIDTH	50 FT	164.75 FT	164.75 FT	NO
MINIMUM LOT DEPTH	60 FT	82.47 FT	82.47 FT	NO
BUILDING SETBACKS				
FRONT YARD	25 FT	N/A	N/A	-
EITHER SIDE	7 FT	N/A	N/A	-
BOTH SIDES	15 FT	N/A	N/A	-
REAR YARD	15 FT	N/A	N/A	-
BUILDING COVERAGE				
MAXIMUM PERMITTED	50%	N/A	N/A	-
LOT COVERAGE				
MAXIMUM PERMITTED	70%	72.50% (9,798 S.F.)	72.50% (9,798 S.F.)	+
HEIGHT LIMITATIONS				
MAX. BLDG. HEIGHT	38 FT	N/A	N/A	-
	3 STORIES	N/A	N/A	-
MIN. GROSS FLOOR AREA	880 S.F.	N/A	N/A	-

+ VARIANCE PREVIOUSLY GRANTED
- A WAIVER WAS PREVIOUSLY GRANTED FROM CH. 130-40.F. TO PERMIT PARKING WITHIN A FRONT OR SIDE YARD
- A WAIVER WAS PREVIOUSLY GRANTED FROM CH. 130-43 REQUIRING A 15' BUFFER STRIP
- A WAIVER WAS PREVIOUSLY GRANTED FROM CH. 130-44 REQUIRING AN OFF-STREET LOADING ZONE

SIGNATURE BLOCKS

APPLICATION NO. _____ APPROVED
BY THE BOROUGH OF SEA BRIGHT LAND
USE BOARD AS AN AMENDED SITE PLAN
ON _____
DATE _____
BOARD CHAIRMAN _____
BOARD SECRETARY _____
BOARD ENGINEER _____

INDEX OF SHEETS

SHEET NO.	DESCRIPTION	DATE	LAST REVISED
1	COVER SHEET	04-22-22	-
2	EXISTING CONDITIONS PLAN	04-22-22	-
3	SITE LAYOUT PLAN	04-22-22	-
4	TENT STRUCTURE DETAILS	04-22-22	-

GENERAL NOTES

- SITE IS KNOWN AS BLOCK 17, LOTS 4 & 5 AS DEPICTED ON SHEET 10 OF THE BOROUGH OF SEA BRIGHT TAX MAPS. TOTAL COMBINED LOT AREA IS 0.879± AC.
- OWNER (LOT 4) APPLICANT:
1030 PARTNERS, LLC
P.O. BOX 80235
STATEN ISLAND, NY 10308
TEL: (201) 294-9575
OWNER (LOT 5):
1010 OCEAN PARTNERS, LLC
P.O. BOX 80235
STATEN ISLAND, NY 10308
- OUTBOUND & TOPOGRAPHIC SURVEY INFORMATION OBTAINED FROM A PLAN ENTITLED, "LOCATION & TOPOGRAPHIC SURVEY FOR THOMAS MAHER AT LOT 4, BLOCK 17 ON THE CURRENT AND OFFICIAL TAX MAP, BOROUGH OF SEA BRIGHT, MONMOUTH COUNTY, NEW JERSEY", PREPARED BY LAND CONTROL SERVICES, DATED SEPTEMBER 9, 2014.
- HORIZONTAL CONTROL BASED ON ASSUMED DEED NORTH. VERTICAL DATUM BASED ON NAVD 1988.
- THE SITE IS LOCATED WITHIN A REGULATED FLOOD HAZARD AREA (ZONE AE). F.E.M.A. ADVISORY BASE FLOOD ELEVATION IS 6.
- THE PROPERTY IS LOCATED WITHIN THE B-R "BUSINESS RESIDENTIAL ZONE" DISTRICT.
- APPLICANT PROPOSES TO INSTALL A TENT ENCLOSURE IN THE REAR OF THE EXISTING RESTAURANT.
- DO NOT SCALE DRAWINGS WITH RESPECT TO THE LOCATION OF SURROUNDING EXISTING FEATURES. ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC., ARE SCHEMATIC ONLY EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE APPLICANT NAMED HEREON FOR THE PURPOSE OF MUNICIPAL AND REGULATORY AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION PLANS UNTIL ALL REQUIRED APPROVALS HAVE BEEN OBTAINED. NO OTHER PURPOSE IS INTENDED OR IMPLIED.
- CONSTRUCTION OF SITE IMPROVEMENTS AND BUILDINGS SHALL BE IN COMPLIANCE WITH SEA BRIGHT BUILDING CODES, FEDERAL AND STATE BARRIER FREE AND A.D.A. REQUIREMENTS, BOROUGH DESIGN STANDARDS, AND NOISE CODE.
- SOLID WASTE PICKUP SHALL BE BY PRIVATE HAULER.
- BUILDING PRESENTLY SERVED BY PUBLIC WATER & SEWER. NO CHANGES ARE PROPOSED.
- THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF SITE CONDITIONS OR TOPOGRAPHY DIFFER MATERIALLY FROM THOSE PRESENTED HEREON. THE UNDERSIGNED PROFESSIONAL SHALL BE GRANTED ACCESS TO REVIEW SAID CONDITION, AND/OR RENDER THE DESIGN SHOWN HEREON TO THE APPROPRIATE MUNICIPAL, COUNTY OR STATE OFFICIAL'S AND/OR UNDERSIGNED PROFESSIONAL SATISFACTION.
- STRUCTURAL / GEOTECHNICAL ENGINEER TO PROVIDE PLANS AND CALCULATIONS FOR ALL STRUCTURES AND FOUNDATIONS AS SHOWN ON THIS PLAN. THIS PLAN DOES NOT INCLUDE BUILDING CALCULATIONS EITHER STRUCTURAL OR GEOTECHNICAL AND THE UNDERSIGNED ASSUMES NO RESPONSIBILITY FOR SAME.
- THE OWNER IS RESPONSIBLE FOR SITE SAFETY. THE OWNER, OR HIS REPRESENTATIVE, IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 5:23-2.21(E) OF THE N.J. UNIFORM CONSTRUCTION CODE AND CFR 1926.32(F) (OSHA COMPETENT PERSON).
- UPON ISSUANCE OF CONSTRUCTION DOCUMENTS, IT IS EXPLICITLY UNDERSTOOD THAT THE ENGINEER IS NOT RESPONSIBLE FOR THE PROSECUTION OF THE WORK, THE MEANS AND METHODS OF CONSTRUCTION, PROTECTION OF ADJACENT STRUCTURES OR PROPERTY, AND IS NOT TO BE HELD RESPONSIBLE FOR ANY DAMAGE WHATSOEVER TO ANY PROPERTY, INCLUDING OFFSITE LANDS, ASSOCIATED WITH CONSTRUCTION OF THE PROJECT.

NO.	DATE	DESCRIPTION

"TOMMY'S TAVERN + TAP"
1010 / 1030 OCEAN AVENUE
COVER SHEET

BLOCK 17, LOTS 4 & 5
BOROUGH OF SEA BRIGHT MONMOUTH COUNTY, NEW JERSEY

EAST POINT
ENGINEERING, LLC
NEW JERSEY CERTIFICATE OF
AUTHORIZATION NO. 246A28169800

11 South Main Street
Marlboro, NJ 07746
Tel: 732.577.0180

DATE: 04-22-22
SCALE: 1" = 20'
PROJECT NUMBER: 14-4-14
CHECKED BY: BNP
SHEET NO. 1 OF 4

MARD S. LEBER
N.J. PROFESSIONAL ENGINEER, LICENSE NO. 24604452400
N.J. PROFESSIONAL PLANNER, LICENSE NO. 39100599900

- SITE IMPROVEMENT NOTES**
CONTINUING CONDITIONS OF PRIOR APPROVALS
1. THERE SHALL BE NO MECHANICAL EQUIPMENT IN ANY SETBACK AREA.
 2. TOTAL NUMBER OF PARKING STALLS PROVIDED: 48. ALL PARKING STALLS SHALL BE MAINTAINED AT NO LESS THAN 9' x 18'. AISLES SHALL BE MAINTAINED AT 24' MINIMUM.
 3. REAR YARD SHALL CLOSE AT 10 O'CLOCK P.M.
 4. NO OUTDOOR ENTERTAINMENT OR LIVE MUSIC IS PERMITTED IN THE REAR YARD.
 5. PROPOSED SITE IDENTIFICATION SIGN TO BE ILLUMINATED WITH GOOSENECK LAMPS AND TURN OFF AT 2 O'CLOCK A.M. CURRENT APPLICATION SEEKS MODIFICATION TO THE EAST FACADE SIGNS BY ELIMINATING THE PREVIOUSLY APPROVED OVERHEAD GOOSENECK LIGHTS AND MAKING THOSE SIGNS INTERNALLY ILLUMINATED.

RESERVED PARKING ONLY
R7-8
12" x 18"

PENALTY
\$500 FIRST OFFENSE
SUBSEQUENT OFFENSES
\$250 MIN. AND/OR
UP TO 90 DAYS
COMMUNITY SERVICE
TOW-AWAY ZONE
AT OWNER'S EXPENSE
R7-8P
10" x 12"

VAN ACCESSIBLE
R7-8A
12" x 6"

A.D.A. SIGNAGE
N.T.S.

ACTIVE DRIVEWAY NO PARKING
12" x 18"

NO PARKING FIRE LANE
R8-31
12" x 18"

SPEED LIMIT 5
R2-1
18" x 24"

PARKING FOR TOMMY'S TAVERN
PARKING SIGNAGE IN PARKING LOT ALONG CURB LINES HEIGHT TO BOTTOM OF SIGN IS 7' SIGN SIZE 6" x 12"

STOP
R1-1
30" x 30"

TRAFFIC SIGNAGE
N.T.S.

ROAD MAY FLOOD
W8-18
24" x 24"

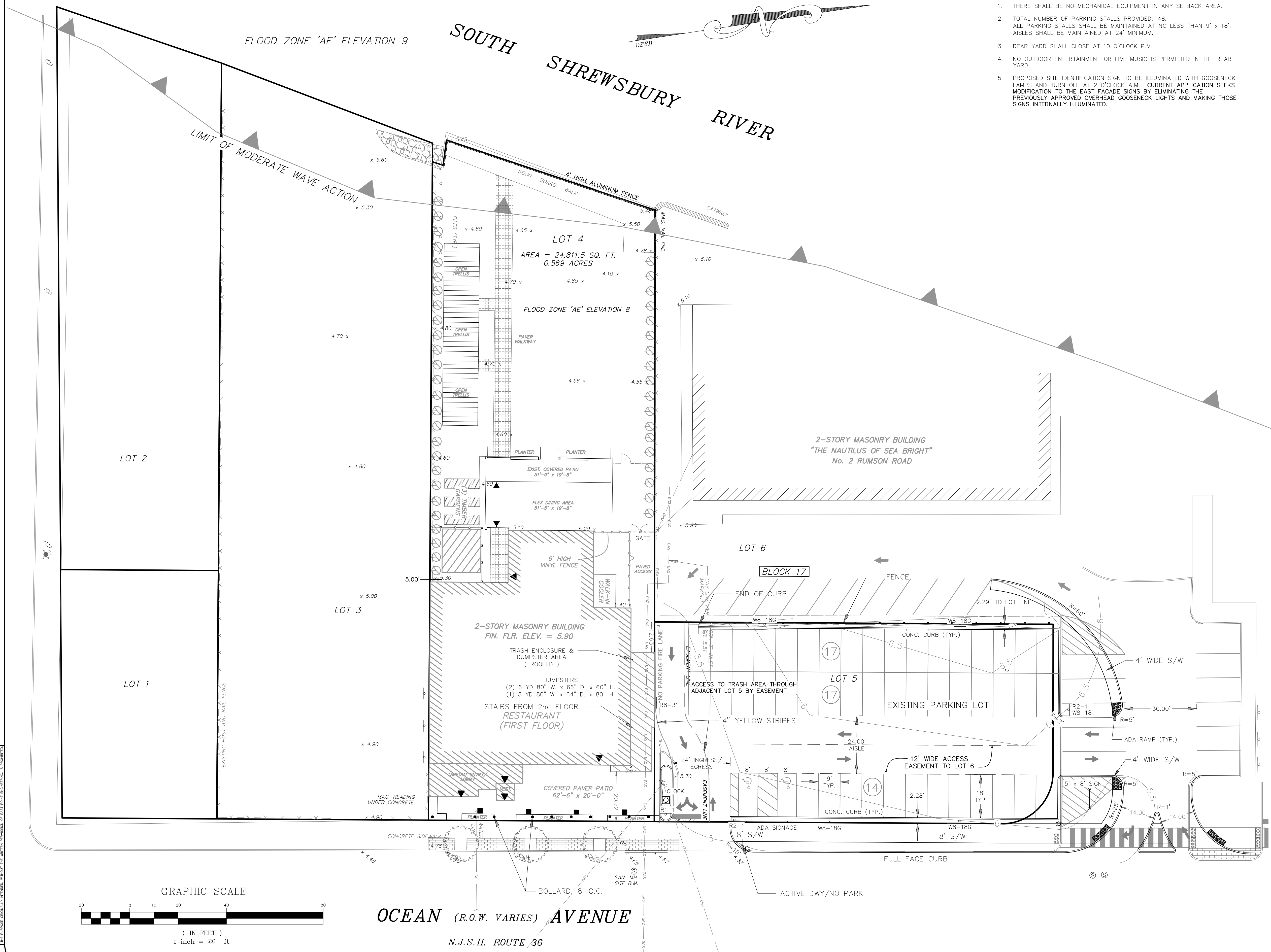
WARNING PARKING AREA SUBJECT TO FLOODING
W8-18G
12" x 18"

WARNING SIGNAGE
N.T.S.

EXISTING SIGNAGE

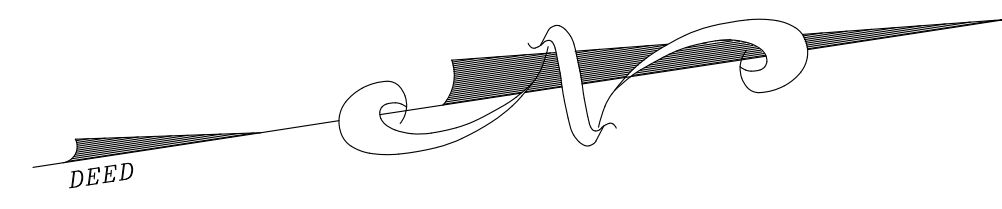
NO.	DATE	DESCRIPTION
"TOMMY'S TAVERN + TAP" 1010 / 1030 OCEAN AVENUE EXISTING CONDITIONS PLAN BLOCK 17, LOTS 4 & 5 BOROUGH OF SEA BRIGHT MONMOUTH COUNTY, NEW JERSEY		
EAST POINT ENGINEERING, LLC NEW JERSEY CERTIFICATE OF AUTHORIZATION NO. 246A28169800		11 South Main Street Marlboro, NJ 07746 Tel: 732.577.0180
DATE:	04-22-22	PROJECT NUMBER:
SCALE:	1" = 20'	CHECKED BY:
DATE:	04-22-22	PROJECT NUMBER:
DATE:	04-22-22	CHECKED BY:
DATE:	04-22-22	PROJECT NUMBER:
DATE:	04-22-22	CHECKED BY:

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FLOOD ZONE 'AE' ELEVATION 9

SOUTH SHREWSBURY RIVER



LIMIT OF MODERATE WAVE ACTION

LOT 4
AREA = 24,811.5 SQ. FT.
0.569 ACRES

FLOOD ZONE 'AE' ELEVATION 8

PROPOSED
40' x 40' TENT

2-STORY MASONRY BUILDING
"THE NAUTILUS OF SEA BRIGHT"
No. 2 RUMSON ROAD

LOT 6

BLOCK 17

LOT 3

2-STORY MASONRY BUILDING
FIN. FLR. ELEV. = 5.90

EXISTING PARKING LOT

LOT 1

RESTAURANT
(FIRST FLOOR)

LOT 5

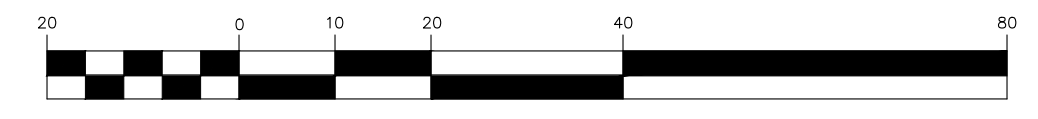
EXISTING PARKING LOT

LOT 2

COVERED PAVER PATIO
62'-6" x 20'-0"

LOT 4


GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

OCEAN (R.O.W. VARIES) AVENUE

N.J.S.H. ROUTE 36

NO.		DATE		DESCRIPTION	
"TOMMY'S TAVERN + TAP" 1010 / 1030 OCEAN AVENUE SITE LAYOUT PLAN					
BLOCK 17, LOTS 4 & 5 BOROUGH OF SEA BRIGHT MONMOUTH COUNTY, NEW JERSEY					
 EAST POINT ENGINEERING, LLC <small>NEW JERSEY CERTIFICATE OF AUTHORIZATION NO. 246A28169800</small>		11 South Main Street Marlboro, NJ 07746 Tel: 732.577.0180		PROJECT NUMBER: 14-4-14	
		DATE: 04-22-22		CHECKED BY: BNP	
MARD S. LEBER <small>N.J. PROFESSIONAL ENGINEER, LICENSE NO. 24604452400 N.J. PROFESSIONAL PLANNER, LICENSE NO. 33100599800</small>		DATE: 04-22-22		SHEET NO. 3 OF 4	

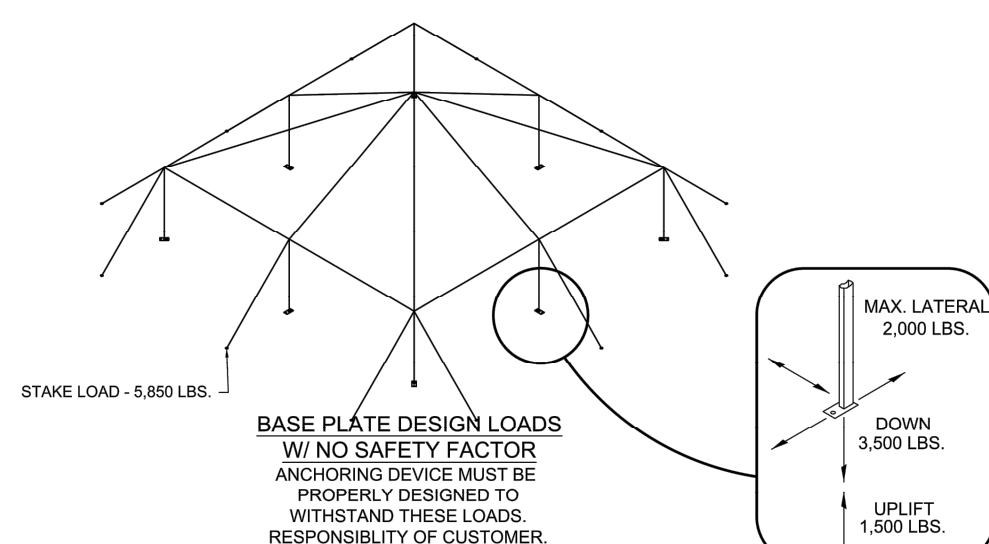
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LOADING INFORMATION BASED ON THE FOLLOWING:

1. BUILDING CODE: ASCE 7-10
2. BASIC WIND SPEED: 115 MPH
3. OCCUPANCY CATEGORY: B
4. WIND EXPOSURE CATEGORY: C
5. HANGING LOADS:
 - 5.1. CTRL. OF END RAFTER - 100 LBS.
 - 5.2. CTRL. OF MID RIDGE - 100 LBS.
 - 5.3. END OF RIDGE - 100 LBS.
 - 5.4. MID RIDGE - 100 LB.

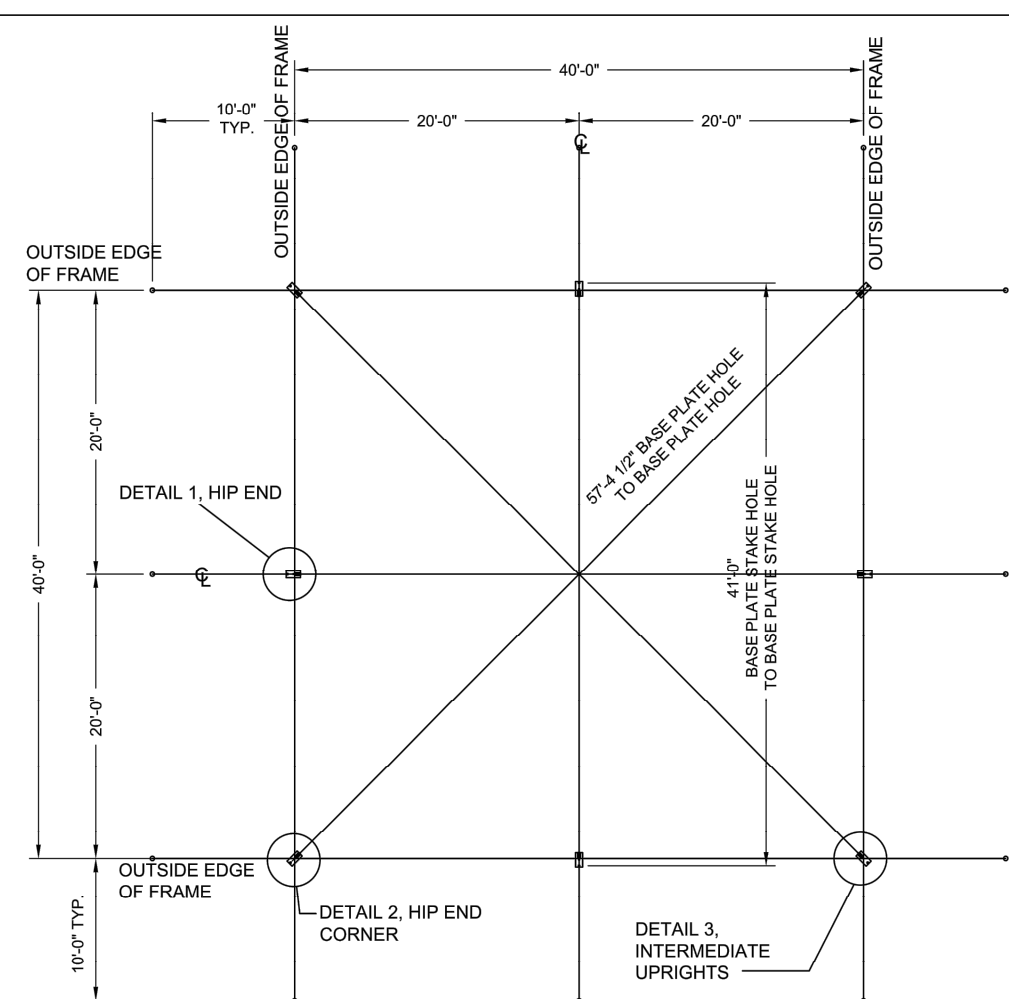
LIMITS OF INSTALLATION RESPONSIBILITY FOR ANCHOR INDUSTRIES

1. ANCHOR INDUSTRIES OPERATES PURELY AS A MANUFACTURER OF MATERIALS AND WILL PERFORM NEITHER AS CONTRACTOR NOR INSTALLER OF THE STRUCTURE.
2. IT IS THE CUSTOMER'S RESPONSIBILITY TO PROVIDE ALL LABOR, EQUIPMENT, AND ANCHORING FOR THE INSTALLATION, OBTAIN ALL NECESSARY PERMITS, AND DESIGNATE THE APPROPRIATE LOADS AND BUILDING CODES HAVING JURISDICTION OVER THE INSTALLATION SITE.
3. THE TENT STAKES SUPPLIED MAY NOT BE ADEQUATE TO MEET THE DESIGN LOADS AS DEFINED.
4. IF A WET ENGINEERING SEAL IS REQUIRED, THIS SERVICE MUST BE DEFINED AND QUOTED SEPARATELY IN ADVANCE WITH ANCHOR INDUSTRIES.
5. APPROPRIATE STAKES OR ANCHORING DEVICES SHOULD BE INSTALLED IN ALL BASEPLATE HOLES.
6. IT IS THE CUSTOMER'S RESPONSIBILITY TO READ AND UNDERSTAND THE ASSEMBLY INSTRUCTIONS FOR THIS UNIT BEFORE BEGINNING THE INSTALLATION.



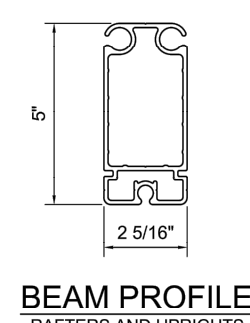
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ENGINEERING INFORMATION GATHERED FROM MAY 22, 2015. END AT 024 R0 CH



PLAN VIEW

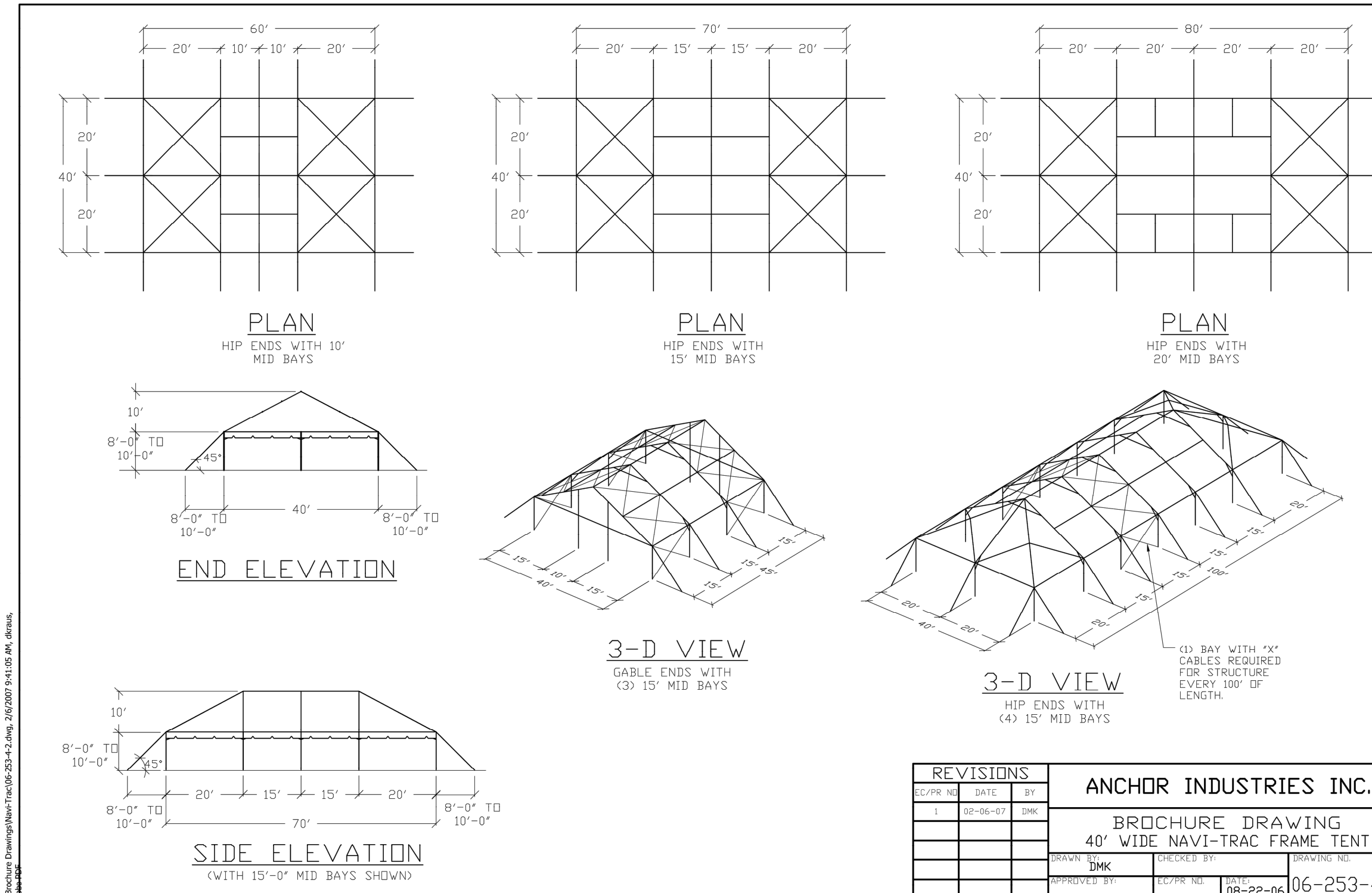
- NOTES:**
1. SEE DRAWING (FPJ0802-04004010N-2 FOR BASE PLATE DETAILS.
 2. NON-STANDARD STAKING SHOWN.



BEAM PROFILE
RAFTERS AND UPRIGHTS

REV	EC	DATE	BY	APP'D	DESCRIPTION

NAVI-TRAC FOOTPRINT (NON-STANDARD) 40' x 40' x 10' EAVE HEIGHT, HIP ENDS	
ITEM DESCRIPTION NAVI-TRAC FOOTPRINT (NON-STANDARD) 40' x 40' x 10' EAVE HEIGHT, HIP ENDS	ITEM NO. FPJ0802-04004010N-1
DRAWN BY DMK	CHECKED BY DMK
PROJECT NO. 5452	DATE 11/16/2018
APPROVED BY (Signature)	PROJECT NO. FPJ0802-04004010N-1

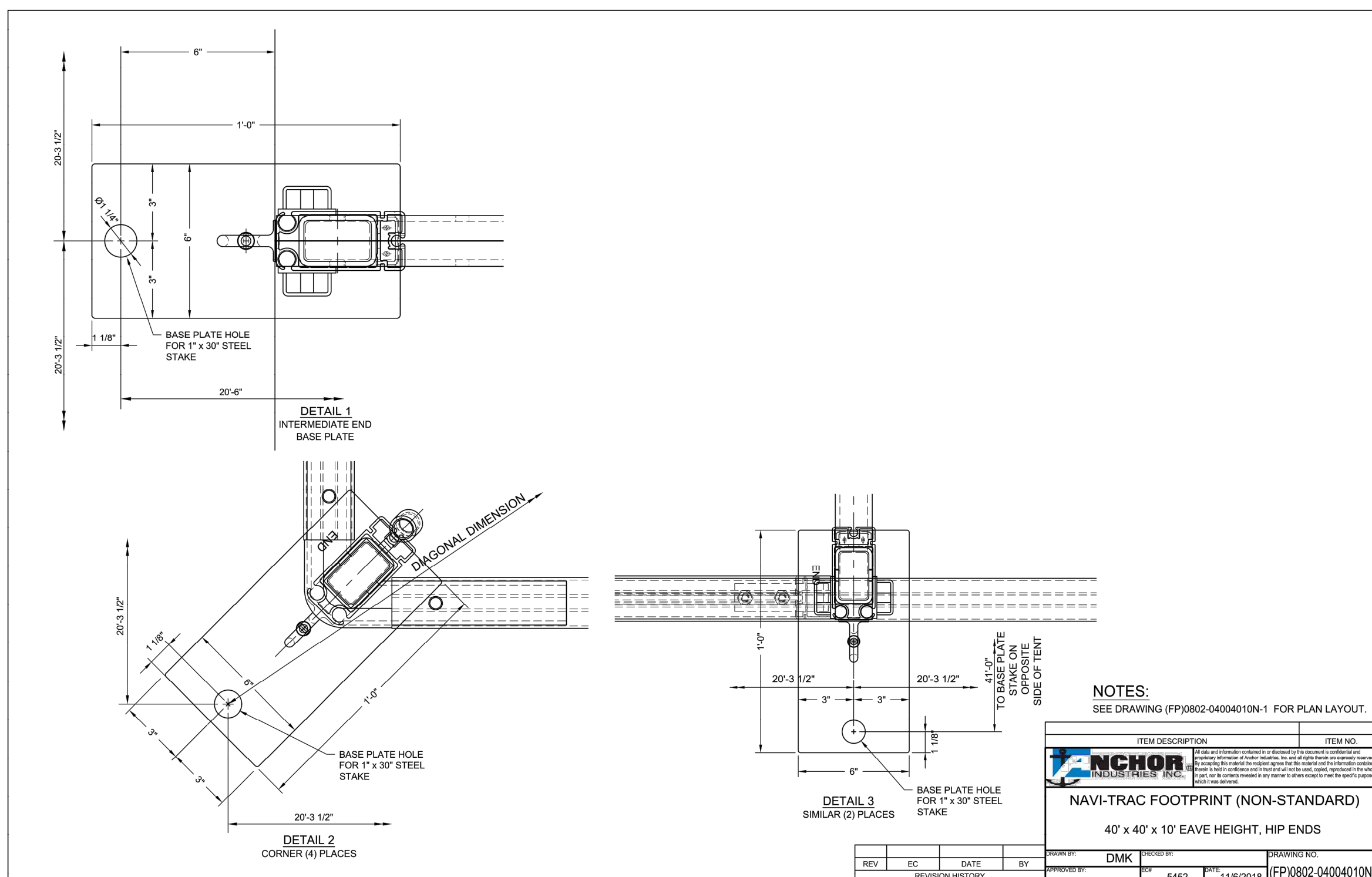


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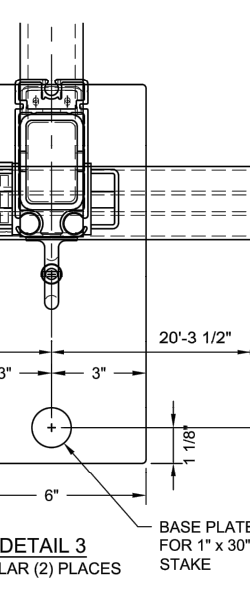
REV	DATE	BY	DESCRIPTION

ANCHOR INDUSTRIES INC. BROCHURE DRAWING 40' WIDE NAVI-TRAC TENT	
DRAWN BY DMK	CHECKED BY DMK
APPROVED BY (Signature)	PROJECT NO. 08-22-06
DATE 06-253-4-2	PROJECT NO. 06-253-4-2

NOTE: TENT IS 40' x 40'



- NOTES:**
1. SEE DRAWING (FPJ0802-04004010N-1 FOR PLAN LAYOUT.



BEAM PROFILE
RAFTERS AND UPRIGHTS

REV	EC	DATE	BY	APP'D	DESCRIPTION

NAVI-TRAC FOOTPRINT (NON-STANDARD) 40' x 40' x 10' EAVE HEIGHT, HIP ENDS	
ITEM DESCRIPTION NAVI-TRAC FOOTPRINT (NON-STANDARD) 40' x 40' x 10' EAVE HEIGHT, HIP ENDS	ITEM NO. FPJ0802-04004010N-2
DRAWN BY DMK	CHECKED BY DMK
PROJECT NO. 5452	DATE 11/16/2018
APPROVED BY (Signature)	PROJECT NO. FPJ0802-04004010N-2

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NO.	DATE	DESCRIPTION

"TOMMY'S TAVERN + TAP"
 1010 / 1030 OCEAN AVENUE
TENT STRUCTURE DETAILS
 BLOCK 17, LOTS 4 & 5
 BOROUGH OF SEA BRIGHT MONMOUTH COUNTY, NEW JERSEY

	11 South Main Street Marlboro, NJ 07746 Tel: 732.577.0180
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DATE 04-22-22	PROJECT NUMBER: 14-4-14
SCALE: N/A	CHECKED BY: BNP
DATE 04-22-22	SHEET NO. 4 OF 4

MARD S. LEBER
 N.J. PROFESSIONAL ENGINEER, LICENSE NO. 240604452400
 N.J. PROFESSIONAL PLANNER, LICENSE NO. 33LI00599800