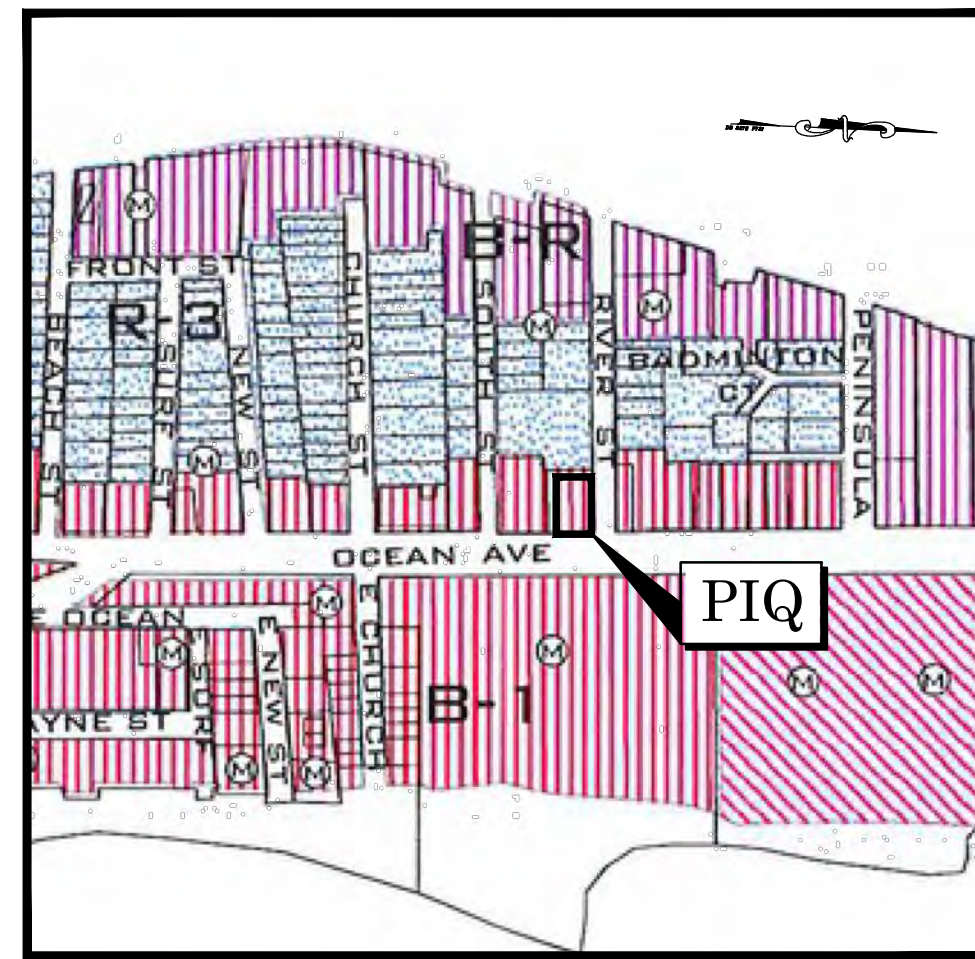
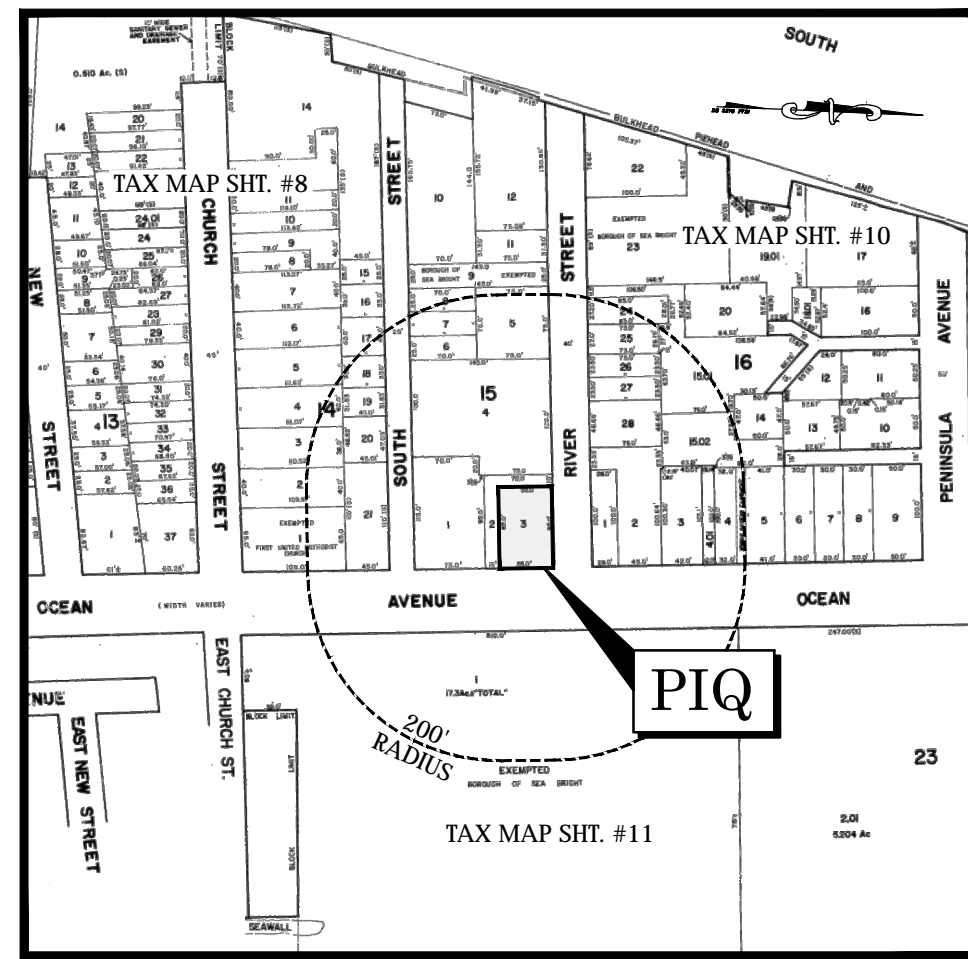


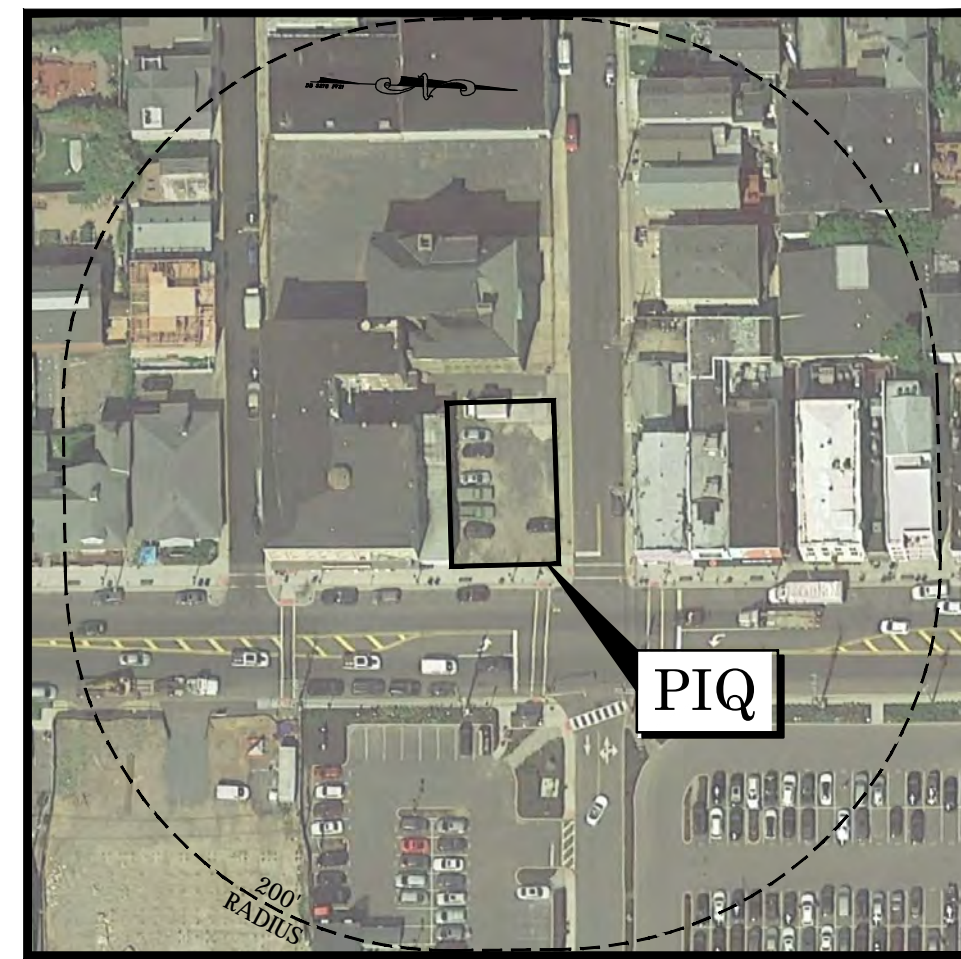
# PRELIMINARY AND FINAL SITE PLAN OF BLOCK 15 LOT 3 FOR 1080 OCEAN AVENUE BOROUGH OF SEA BRIGHT, MONMOUTH COUNTY, NJ



**ZONE MAP**  
SCALE: 1"=300'



**TAX MAP/AREA MAP**  
SCALE: 1"=200'



**KEY/200' STRUCTURE MAP**  
SCALE: 1"=100'

## 200' ADJOINING OWNERS

BLOCK	LOT	QUAL.	CLA.	PROPERTY OWNER	PROPERTY LOCATION	AMT 1 LOT#
14	1	1	1	FIRST UNITED METH. CHURCH SEA BRIGHT, NJ 07740	1104 OCEAN AVENUE	
14	1	2	4A	FIRST UNITED METHODIST CHURCH SEA BRIGHT, NJ 07740	1101 OCEAN AVENUE	
14	2	1	1	CHURCH STREET CONDO ASSOCIATION SEA BRIGHT, NJ 07740	1 CHURCH STREET UNIT A	
14	2.01	2	2	ANDREWS, JOHN A. CHRYSLER SEA BRIGHT, NJ 07740	1 CHURCH STREET UNIT A	
14	2.02	2	2	ANDREWS, JOHN A. CHRYSLER SEA BRIGHT, NJ 07740	1 CHURCH STREET UNIT B	
14	3	2	2	MCCLUNEY, SEAN A. AMANDA K. SEA BRIGHT, NJ 07740	1 CHURCH STREET	
14	4	2	2	MCCLUNEY, SEAN A. AMANDA K. SEA BRIGHT, NJ 07740	5 CHURCH STREET	
14	5	2	2	DOM, BERNARD & CYNTHIA PO BOX 40 OCEANPORT, NJ 07757	7 CHURCH STREET	
14	17	2	2	LORENZO, JAMES A. 191 OCEAN AVENUE SEA BRIGHT, NJ 07740	8 SOUTH STREET	
14	18	2	2	BEVIE REAL PROPERTIES LLC 1121 OCEAN AVENUE SEA BRIGHT, NJ 07740	8 SOUTH STREET	
14	19	2	2	FOI, DAVID & PRIYA 1121 OCEAN AVENUE SEA BRIGHT, NJ 07740	8 SOUTH STREET	
14	20	2	2	MOY, ROBERT E. II & SANDRA C. SEA BRIGHT, NJ 07740	3 SOUTH STREET	
14	21	4A	4A	WIND PROPERTIES LLC 3 ELYSIUM DRIVE WESTFIELD, NJ 07090	1096 OCEAN AVENUE	
15	1	4A	4A	HARLOWE & KRISTIN LLC 1 MONMOUTH BEACH MONMOUTH BEACH, NJ 07750	1092 OCEAN AVENUE	
15	2	4A	4A	BEADPOINT PFC, LLC 124 OCEAN AVENUE SEA BRIGHT, NJ 07740	1084 OCEAN AVENUE	
15	4	4A	4A	RIVER STREET REALTY, LLC 160 RIVER STREET BRIDGEWATER, NJ 07001	4 RIVER STREET	
15	5	4A	4A	C. J. & M. ASSOC OF SEA BRIGHT, LLC KINGSTON, NJ 08528	6 & 7 RIVER STREET	
15	8	2	2	PERDUE, A. HOWARD & SONS INC KINGSTON, NJ 08528	9 SOUTH STREET	
15	1	4A	4A	1074 OCEAN, LLC 1110 OCEAN AVENUE SEA BRIGHT, NJ 07740	1076 OCEAN AVENUE	
15	2	4A	4A	1072 SEA BRIGHT, LLC SEA BRIGHT, NJ 07740	1072 OCEAN AVENUE	
15	3	4A	4A	110 MONMOUTH PLACE LONG BRANCH, NJ 07740	1070 OCEAN AVENUE	
15	4	4A	4A	AMCK, LLC 1066 OCEAN AVENUE SEA BRIGHT, NJ 07740	1066 OCEAN AVENUE	
15	4.01	4A	4A	TREZZA REALTY HOLDING LLC RED BANK, NJ 07071	1048 OCEAN AVENUE	
15	5	4A	4A	1062 OCEAN AVENUE SEA BRIGHT, NJ 07740	1062 OCEAN AVENUE	
15	6	4A	4A	1040 OCEAN AVENUE LLC 1040 OCEAN AVENUE SEA BRIGHT, NJ 07740	1040 OCEAN AVENUE	
15	14	2	2	MARTIN, IVAN WENAT 1071 OCEAN AVENUE SEA BRIGHT, NJ 07740	2 BADINGTON COURT	
15	15.01	1	1	ASSESSED WITH BLOCK 16 LOTS 15-23 700' TO BE AS PART OF COMMON ELEMENTS	2 BADINGTON COURT	
15	15.02	4A	4A	MONMOUTH BOARD CLUB, LLC 1071 OCEAN AVENUE SEA BRIGHT, NJ 07740	1071 OCEAN AVENUE	
15	15.03	2	2	MURRO, ROBERT P. JR. 1324 WIDEFIELD LANE LAKE WORTH, FL 33467	2 BADINGTON COURT UNIT 1	
15	15.04	2	2	MURRO, ROBERT P. JR. 1324 WIDEFIELD LANE LAKE WORTH, FL 33467	2 BADINGTON COURT UNIT 2	
15	15.05	2	2	MURRO, ROBERT P. JR. 1324 WIDEFIELD LANE LAKE WORTH, FL 33467	2 BADINGTON COURT UNIT 3	
15	15.06	2	2	MURRO, ROBERT P. JR. 1324 WIDEFIELD LANE LAKE WORTH, FL 33467	2 BADINGTON COURT UNIT 4	
15	15.07	2	2	MURRO, ROBERT P. JR. 1324 WIDEFIELD LANE LAKE WORTH, FL 33467	2 BADINGTON COURT UNIT 5	
15	15.08	2	2	MURRO, ROBERT P. JR. 1324 WIDEFIELD LANE LAKE WORTH, FL 33467	2 BADINGTON COURT UNIT 6	
15	15.09	2	2	MURRO, ROBERT P. JR. 1324 WIDEFIELD LANE LAKE WORTH, FL 33467	2 BADINGTON COURT UNIT 7	
15	15.10	2	2	MURRO, ROBERT P. JR. 1324 WIDEFIELD LANE LAKE WORTH, FL 33467	2 BADINGTON COURT UNIT 8	
15	15.11	2	2	MURRO, ROBERT P. JR. 1324 WIDEFIELD LANE LAKE WORTH, FL 33467	2 BADINGTON COURT UNIT 9	
15	15.12	2	2	MURRO, ROBERT P. JR. 1324 WIDEFIELD LANE LAKE WORTH, FL 33467	2 BADINGTON COURT UNIT 10	
15	24	2	2	JOHNSON, LESLIE A. & HUTTON, MAE E. SEA BRIGHT, NJ 07740	15 RIVER STREET	
15	25	2	2	15 RIVER STREET, LLC 15 RIVER STREET SEA BRIGHT, NJ 07740	15 RIVER STREET	
15	26	2	2	FOURMAN, JOHN ROBERT ETAL 1007 EAST LONITA AVENUE ORANGE, CA 92687	9 RIVER STREET	
15	27	2	2	GOTTI, JOHN R. SEA BRIGHT, NJ 07740	11 RIVER STREET	
15	28	2	2	RIVER S, LLC 1009 OCEAN AVENUE LONG BRANCH, NJ 07740	5 RIVER STREET	
23	1	11C	11C	1009 OCEAN AVENUE SEA BRIGHT, NJ 07740	1009 OCEAN AVENUE	
23	2.02	11C	11C	1009 OCEAN AVENUE SEA BRIGHT, NJ 07740	1051 OCEAN AVENUE	

## GENERAL NOTES:

- APPLICANT/OWNER: THE BREAK AT SEA BRIGHT, LLC  
MR. TRIP BROOKS  
305 BOND STREET  
SUITE #301  
ASBURY PARK, NJ 07712
- THE PROPERTY IS KNOWN AS LOT 3, BLOCK 15 AS SHOWN ON THE OFFICIAL TAX MAP SHEET NO. 8 OF THE BOROUGH OF SEA BRIGHT, MONMOUTH COUNTY, NEW JERSEY.
  - SURVEY AND BOUNDARY INFORMATION SHOWN HEREIN TAKEN FROM MAP ENTITLED "SURVEY OF PROPERTY" PREPARED BY LANDMARK SURVEYING & ENGINEERING, INC., ZENON T. GRZYBOWSKI, NJ PLS No. 23918, DATED 12/14/17, REVISED 1/12/18. UTILITY AND TOPOGRAPHIC LOCATIONS SUPPLEMENTED BY WJH ENGINEERING, PETER P. BENNETT III, NJ PLS No. 40651, DATED 9/27/19. TOPOGRAPHIC INFORMATION IS BASED ON NAVD 88.
  - SITE LOCATED IS LOCATED IN FLOOD ZONE "AE" (MIN. FLOOD ELEV. 8.0) PURSUANT TO PRELIMINARY FLOOD INSURANCE MAP #34025C0201F, DATED 9/25/09.
  - EXISTING USE: VACANT
  - PROPOSED USE: 6 CONDOMINIUMS AND 1 RETAIL SPACE (2,800 SF)
  - THE SITE IS CURRENTLY SERVED BY PUBLIC WATER AND SEWER.
  - DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC... THEY ARE SCHEMATIC ONLY, EXCEPT WHERE DIMENSIONS ARE SHOWN THEREIN.
  - THIS SET OF PLANS HAS BEEN PREPARED FOR PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THESE PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS AND EACH DRAWING HAS BEEN REVISED TO INDICATE "ISSUED FOR CONSTRUCTION".
  - EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION, AND NOTIFY NJ ONECALL AS REQUIRED BY LAW. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENT AS REQUIRED TO AVOID CONFLICTS. EXISTING UTILITY CONNECTIONS WILL BE UTILIZED, IF POSSIBLE.
  - ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
    - N.J. DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", AS CURRENTLY AMENDED.
    - CURRENT, PREVAILING MUNICIPAL AND/OR COUNTY SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
    - CURRENT, PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
  - CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON AND/OR IF SUCH CONDITIONS, IN THE CONTRACTOR'S OPINION WOULD OR COULD RENDER THE DESIGN SHOWN HEREON INAPPROPRIATE OR INEFFECTIVE.
  - CONTRACTOR SHALL COORDINATE ANY UTILITY RELOCATIONS.
  - THIS PLAN IS SUBJECT TO ALL LOCAL AND STATE REGULATORY PERMITS, AGENCY REVIEW AND APPROVAL.
  - RETAIL & CONDO. REFUSE AND RECYCLING WILL BE HANDLED THROUGH A PRIVATE COMPANY AND STORED WITHIN THE GARAGE AND FIRST FLOOR AREAS.
  - IT IS THE INTENT OF THESE PLANS TO PROVIDE THE FOLLOWING GRADING CRITERIA:
    - 3:1 MAX.
    - 2% MIN. GRASS, 1% PAVEMENT
    - 6% MAX. WITHIN 10' OF PROPOSED BUILDINGS
  - THE OWNER, OR HIS REPRESENTATIVE, IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 5:23-2.21(e) OF THE N.J. UNIFORM CONSTRUCTION CODE AND CFR 1926.321(f) (OSHA COMPETENT PERSON).
  - ALL SITE IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE BOROUGH OF SEA BRIGHT CONSTRUCTION STANDARDS, WHERE APPLICABLE.
  - FIRE ZONE SIGNAGE, STRIPING, KNOX BOX, ETC. SHALL BE IN ACCORDANCE WITH THE BOROUGH FIRE OFFICIAL.
  - SEPARATE UTILITY PERMIT APPLICATIONS MAY BE REQUIRED FOR LOCAL AGENCY FOR WATER & SEWER.
  - ALL ROOF LEADERS SHALL BE DIRECTED TOWARD THE STREET SYSTEM. LOAD ZONE: NOT REQUIRED.
  - ALL ELECTRIC, CABLE & TELEPHONE SERVICES TO BE INSTALLED UNDERGROUND FROM ADJACENT UTILITY POLE.
  - BUILDING FOOTPRINT DIMENSIONS OBTAINED FROM ARCHITECTS ON 9/25/20 AND SHOWN HEREON ARE APPROXIMATE. FINAL BUILDING FOOTPRINT DIMENSIONS SHALL BE FURNISHED AT TIME OF BUILDING PERMIT AND SHALL CONFORM TO APPROVED BULK STANDARDS.
  - ALL BONDS MUST BE POSTED PRIOR TO BUILDING PERMITS.
  - STREET LIGHTING SHALL MATCH EXACTLY TO ACORN LIGHTS, 16" FIXTURES LOCATED ON OCEAN AVENUE PROVIDED BY JCP&L.
  - ARCHITECT TO COORDINATE SIGNAGE PURSUANT TO BOROUGH ORDINANCES.
  - SIDEWALKS AND CURB, IF DAMAGED, SHALL BE REPLACED. PROVISION TO PROVIDE PUBLIC CIRCULATION SHALL BE MAINTAINED AT ALL TIMES.

ZONING TABLE			
ZONE DISTRICT: B-1	BUSINESS DISTRICT		
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA (S.F.)	3,000	4,674.76	4,674.76
MINIMUM LOT WIDTH (FT.)	50	55.00	55.00
MINIMUM LOT DEPTH (FT.)	60	85.00	85.00
MINIMUM FRONT YARD SETBACK (FT.)	0'-0"	N/A	0.00
MINIMUM SIDE YARD SETBACK (FT.)	0'-0"	N/A	0.00
MINIMUM REAR YARD SETBACK (FT.)	15'-0"	N/A	0.00*
MINIMUM GROSS FLOOR AREA (S.F.)	880	N/A	2,800
MAXIMUM BUILDING HEIGHT (FT.)	42 (3 STORY)	N/A	52.5 (5 STORY)*
MAXIMUM BUILDING COVERAGE AREA (%)	50	N/A	97*
MAXIMUM IMPERVIOUS COVERAGE (%)	75	100	97*
PARKING SPACES (SEA BRIGHT)	2 SPACES / UNIT 12 REQUIRED	N/A	12 + (1 Handicap Shared with Res./Retail)
* RETAIL/RESTAURANT	1 SPACE / 200 SF 14 REQUIRED	N/A	0 - (Municipal Lot Across Street)
PARKING SIZE STANDARD	8.5' x 18' min.	-	9' x 18'

\* VARIANCE REQUIRED

SHEET INDEX			
SHEET NO.	SHEET TITLE	ORIG. ISSUE DATE	LATEST REV. DATE
1	COVER SHEET	10/1/20	
2	EXISTING CONDITIONS & DEMOLITION PLAN	10/1/20	
3	DIMENSION PLAN	10/1/20	
4	GRADING, DRAINAGE & UTILITY PLAN	10/1/20	
5	CONSTRUCTION DETAILS	10/1/20	

**ATTORNEY:**  
KEVIN KENNEDY, ESQ.  
165 STATE HWY. NO. 35  
RED BANK, NJ 07701  
PH. (732) 936-1099  
kennedylaw@kevinkennedylaw.net

**ARCHITECT:**  
DANIEL M. CONDATORE, R.A.  
- MODE -  
MONMOUTH OCEAN DESIGN EXPERTS  
619 LAKE AVENUE  
3RD. FLOOR  
ASBURY PARK, NJ 07712  
PH. (732) 800-1958

**APPLICANT / OWNER:**  
THE BREAK AT SEA BRIGHT, LLC  
TRIP BROOKS  
305 BOND STREET  
SUITE #301  
ASBURY PARK, NJ 07712  
PH. (732) 804-0902  
TripBrooks@gmail.com

AS OWNER OF THE LANDS SHOWN ON THIS MAP, I/WE HEREBY CONSENT TO FILE THIS MAP.

TRIP BROOKS \_\_\_\_\_ DATE \_\_\_\_\_

MONMOUTH COUNTY PLANNING BOARD APPROVAL TO BE AFFIXED

CERTIFICATION:  
APPROVED BY THE PLANNING BOARD OF THE BOROUGH OF SEA BRIGHT  
MONMOUTH COUNTY, NEW JERSEY

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

# PRELIMINARY AND FINAL SITE PLAN OF BLOCK 15 LOT 3 FOR

1080 OCEAN AVENUE  
BOROUGH OF SEA BRIGHT,  
MONMOUTH COUNTY, NJ

JOB NUMBER 19181

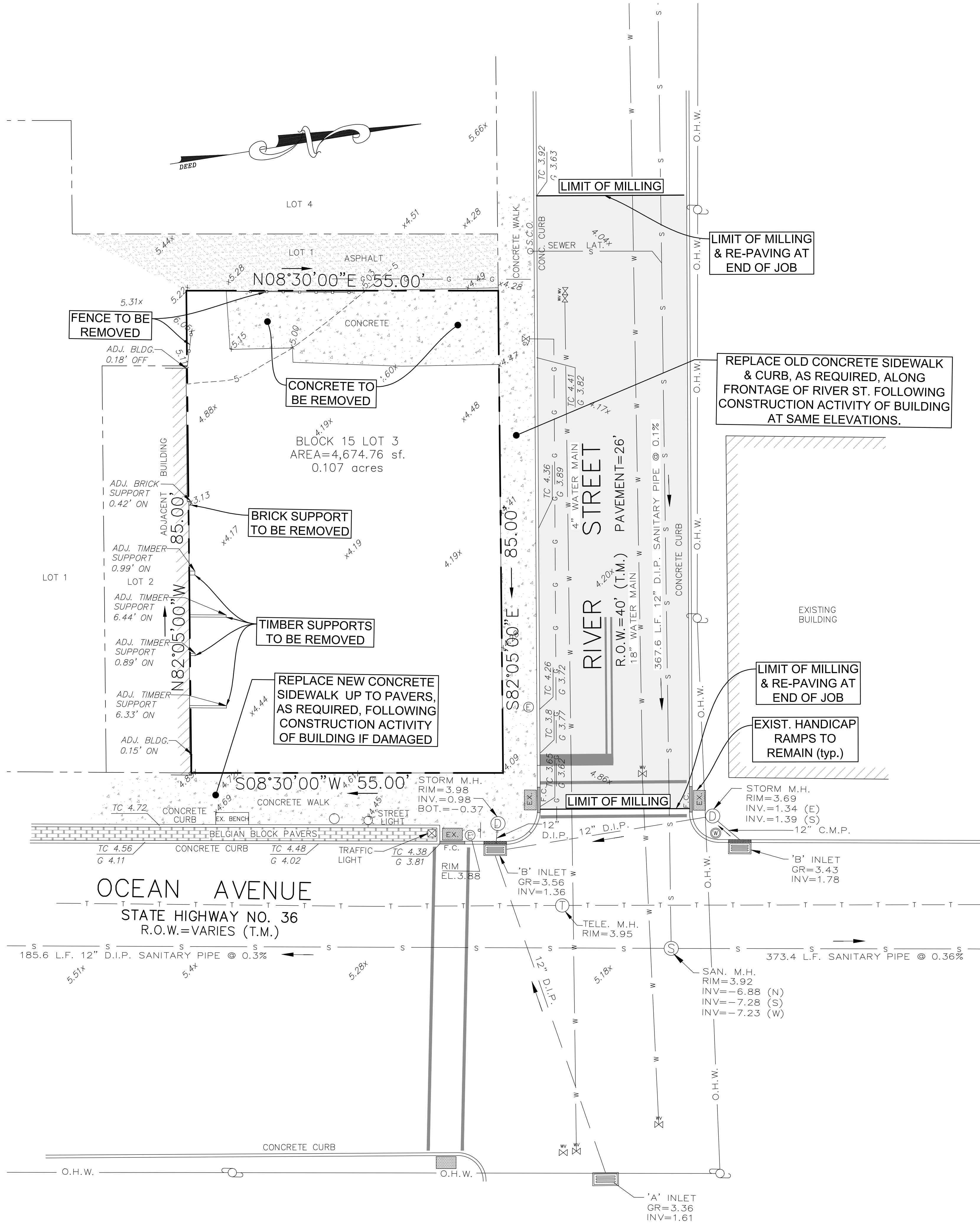


CERT. OF AUTH. NO. 24G428117300  
257 MONMOUTH ROAD, BLDG. A, STE. 7, OAKHURST, NJ 07755  
PHONE - 732-223-1313

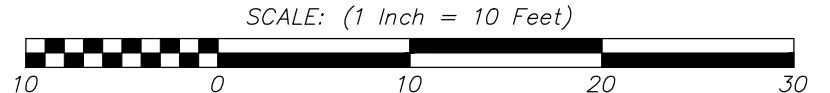
WALTER JOSEPH HOPKIN  
N.J. PROFESSIONAL ENGINEER, LIC. No. 40673

*Walter Joseph Hopkin*

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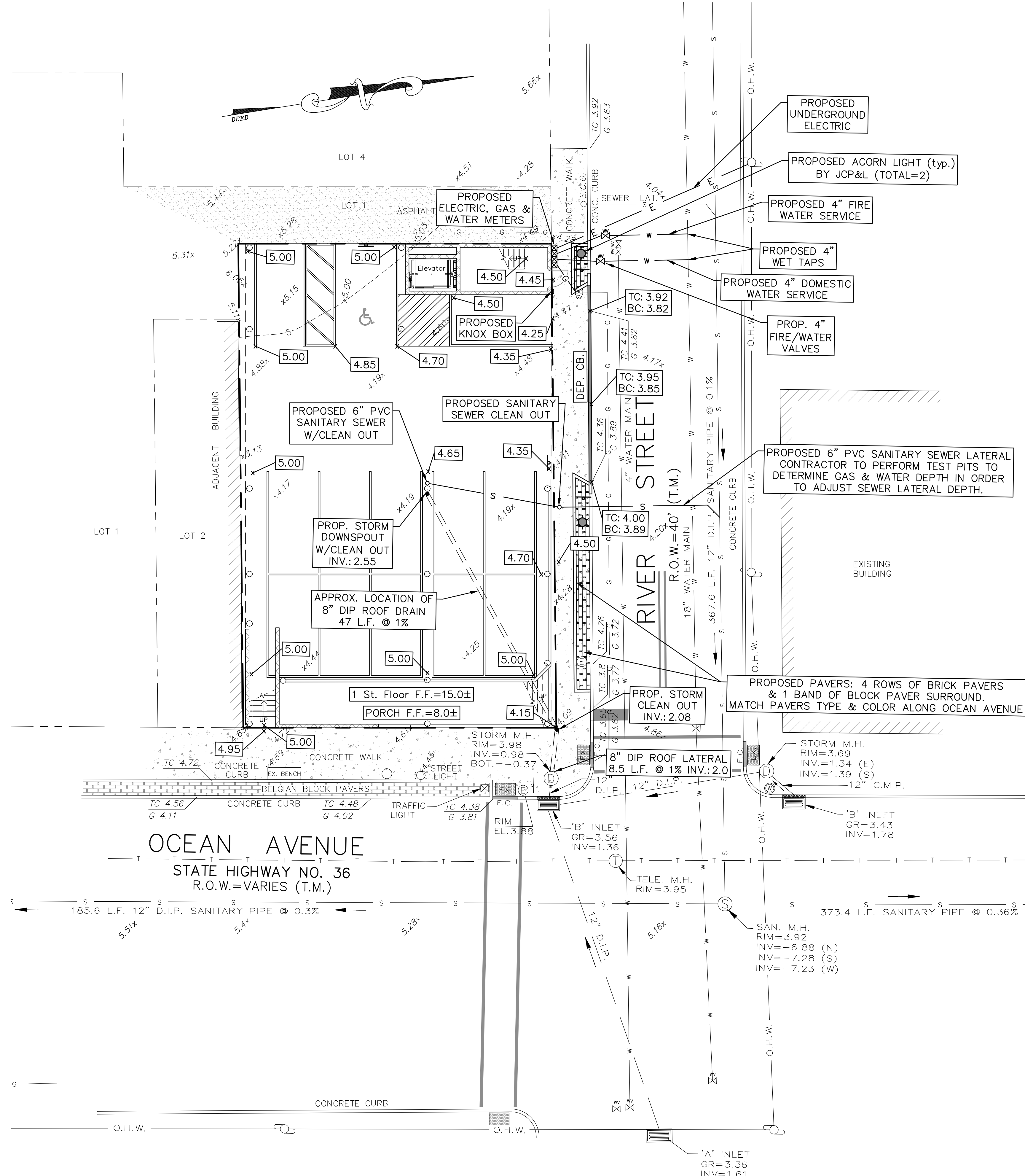


- LEGEND**
- GAS VALVE
  - WATER VALVE
  - WATER METER
  - UTILITY MANHOLE
  - DRAINAGE MANHOLE
  - ELECTRICAL MANHOLE
  - SANITARY MANHOLE
  - TELEPHONE MANHOLE
  - TRAFFIC SIGN
  - TRAFFIC SIGN (2 POST)
  - STREET SIGN
  - LIGHT POST
  - UTILITY POLE
  - FIRE HYDRANT
  - DRAINAGE INLET (TYPE 'A')
  - DRAINAGE INLET (TYPE 'B')
  - DRAINAGE INLET (TYPE 'E')
  - DRAINAGE LINE
  - ELECTRIC LINE
  - GAS LINE
  - SANITARY SEWER LINE
  - TELEPHONE LINE
  - WATER LINE
  - OVERHEAD WIRES
  - MONITORING WELL
  - IRON PIPE FOUND
  - CAPPED REBAR FOUND
  - CONCRETE MONUMENT FOUND
  - SURVEY
  - FILE MAP
  - GAS METER
  - D.C. DEPRESSED CURB
  - F.C. FLUSH CURB



NO.	DATE	DESCRIPTION					DRAWN BY			
<b>PRELIMINARY &amp; FINAL SITE PLAN</b> OF <b>LOT 3 BLOCK 15</b> BOROUGH OF SEA BRIGHT MONMOUTH COUNTY NEW JERSEY										
				CERT. OF AUTH. NO. 246A28117300 257 MONMOUTH ROAD, BLDG. A, STE. 7, OAKHURST, NJ 07795 PHONE-732-223-1313 WWW.WHENGINEERING.COM			<b>EXISTING CONDITIONS &amp; DEMOLITION PLAN</b>  <b>WALTER JOSEPH HOPKIN</b> N.J. PROFESSIONAL ENGINEER, LIC. No. 40673			
SCALE:	DRAWN BY:	DATE:	JOB No.:	SHEET No.:						
1" = 10'	JUL	10/1/20	19181	2 of 5						

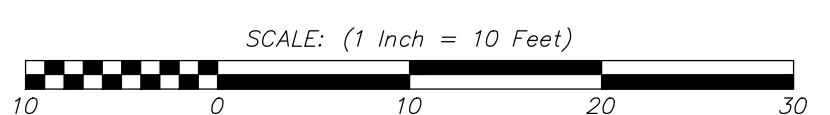




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  - D.C. DEPRESSED CURB
  - F.C. FLUSH CURB

**SEWER & WATER NOTES:**

1. Detailed interior sanitary sewer piping for the apartment buildings will be provided upon completion of the architectural plans.
2. HVAC condensate shall not enter the wastewater system.
3. The Sewer Authority shall witness all work associated with the proposed lateral connections to the existing DIP located within River Street.
4. Water service to be provided from the existing eighteen (18) inch water service unless flow test reveals that the four (4) inch water line is capable of providing fire and domestic services. A flow test must be performed in order to finalize the connections.
5. Pipe materials connections shall comply with local water company specifications. Water shutoff valves shall be color coded for fire and domestic.



NO.	DATE	DESCRIPTION	DRAWN BY

**PRELIMINARY & FINAL SITE PLAN**  
OF  
**LOT 3 OF BLOCK 15**  
BOROUGH OF SEA BRIGHT    MONMOUTH COUNTY    NEW JERSEY

**WJH ENGINEERING**  
CERT. OF AUTH. NO. 24GA28117300  
257 MONMOUTH ROAD,  
BLDG. A, STE. 7,  
OAKHURST, NJ 07795  
PHONE: 732-223-1313  
WWW.WJHENGINEERING.COM

**GRADING, DRAINAGE & UTILITY PLAN**

**WALTER JOSEPH HOPKIN**  
PROFESSIONAL ENGINEER, LIC. No. 40673

SCALE: 1" = 10'	DRAWN BY: JUL	DATE: 10/1/20	JOB No.: 19181	SHEET No.: 4 of 5
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