

proposed addition and renovation for  
**TATELMAN RESIDENCE**

BUILDING DEPARTMENT DATA	
	PROPOSED
HABITABLE SPACES	
FIRST FLOOR	1,400 SQ. FT.
SECOND FLOOR	1,400 SQ. FT.
THIRD FLOOR	730 SQ. FT.
TOTAL	3,530 SQ. FT.
VOLUME	46,722 CU. FT.
CONSTRUCTION CLASS	5A
USE GROUP	R-5

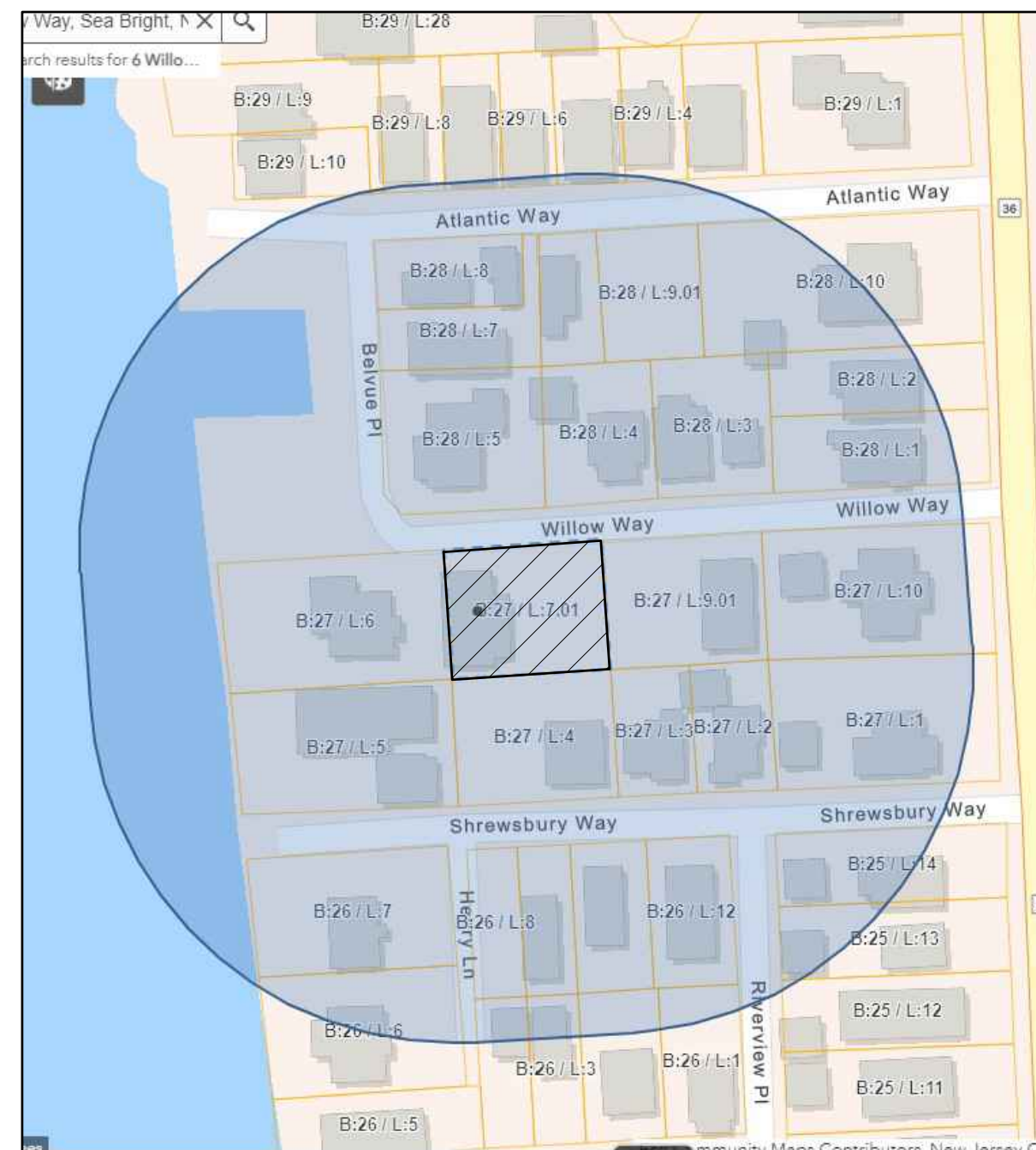
\* NOTE: SQUARE FOOTAGE DATA NOT TO BE USED FOR CALCULATING CONSTRUCTION COSTS

6 WILLOW WAY  
 SEA BRIGHT, NEW JERSEY  
 BLOCK 27 ~ LOT 7.01

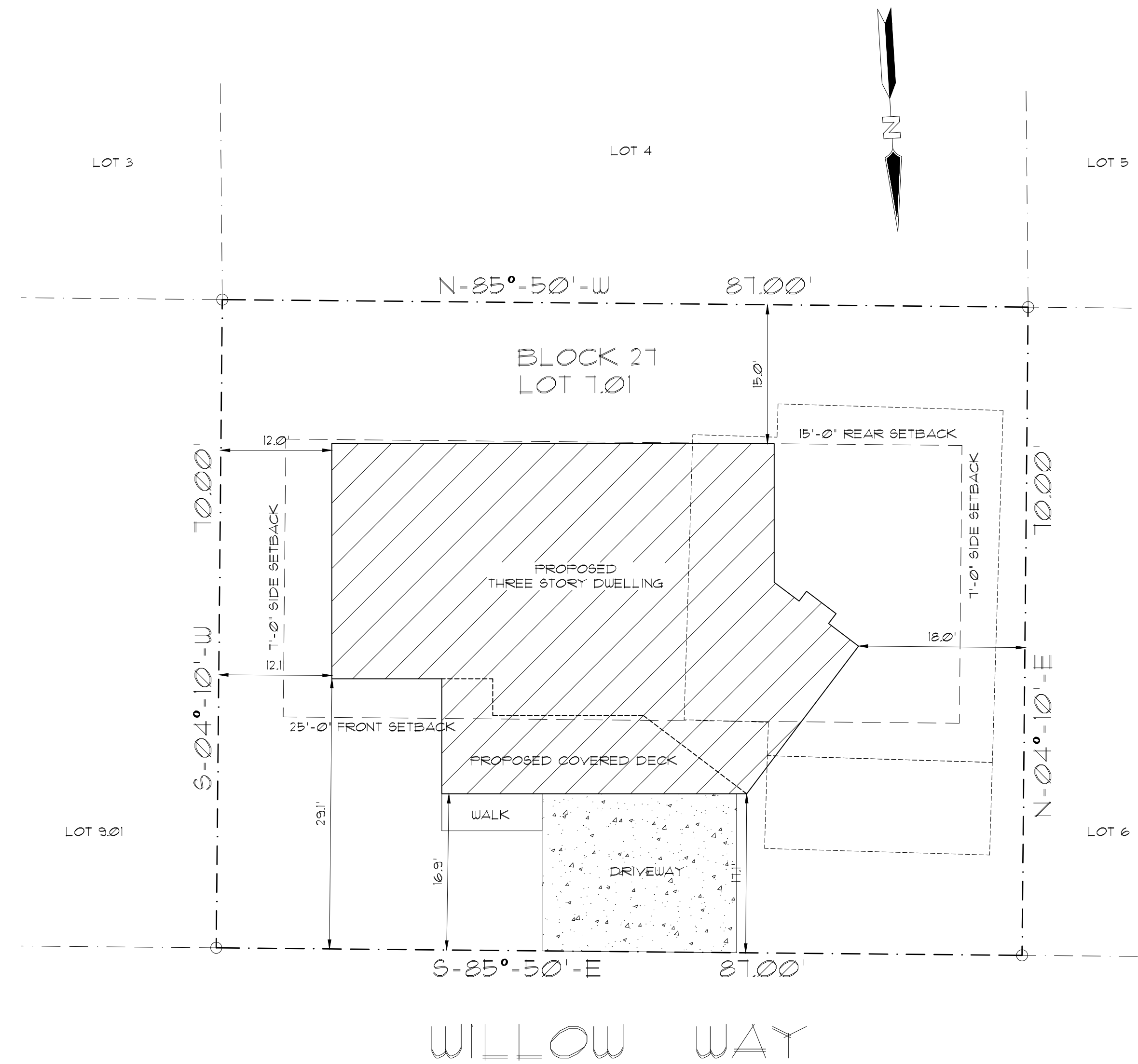


ARTIST RENDERING  
 SCALE: N.T.S

ZONING DATA (R-2)				
ITEM	REQUIRED	EXISTING	PROPOSED	NOTES
MINIMUM LOT AREA	4,000 SQ. FT.	6,090 SQ. FT.	6,090 SQ. FT.	
MINIMUM LOT FRONTAGE	50 FT.	81 FT.	81 FT.	
MINIMUM LOT DEPTH	60 FT.	70 FT.	70 FT.	
PRINCIPAL BUILDING				
MINIMUM FRONT SETBACK	25 FT.	20.5 FT.	16.5 FT.	VARIANCE REQUIRED
MINIMUM REAR SETBACK	15 FT.	11 FT.	15 FT.	
MINIMUM SIDE SETBACK (ONE/BOTH)	7 / 15 FT.	23 / 52.9 FT.	12.0 / 30.0 FT.	
MAX. BUILDING HEIGHT (STORIES/FT.)	2.5 / 30 FT.	1 / 41.5 FT.	3 / 39 FT.	VARIANCE REQUIRED
ACCESSORY BUILDING				
MINIMUM REAR SETBACK	N/A	N/A	N/A	
MINIMUM SIDE SETBACK	N/A	N/A	N/A	
MAX. BUILDING HEIGHT (STORIES/FT.)	N/A	N/A	N/A	
MAXIMUM BUILDING COVERAGE	50 %	25.9 %	28.64 %	
MAXIMUM LOT COVERAGE	70 %	63.2 %	35.22 %	

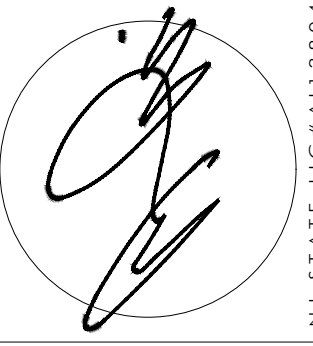


200 FEET MAP  
 SCALE: N.T.S



SITE PLAN  
 SCALE: 1" = 10'-0"

INFORMATION SHOWN ON THIS PLAN IS BASED ON SURVEY DONE BY ROBERT W. SMITH, P.E. N.J. P.L.S. LIC. NO. 023934 OF NEW JERSEY, DATED 01/29/18.



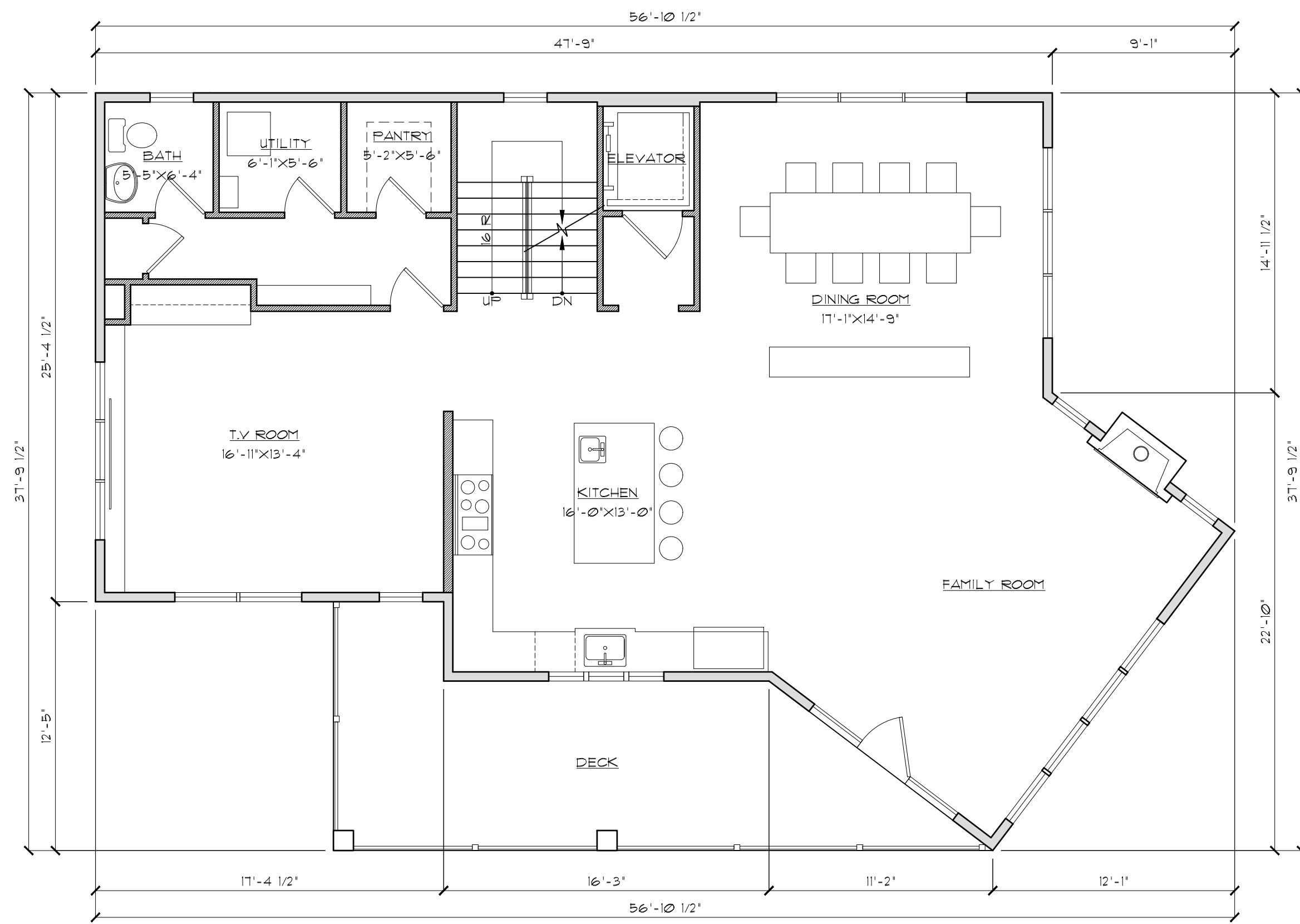
ANTHONY M. COONDOURIS  
**ARCHITECT**  
 20 BINGHAM AVENUE, RUMSON NJ 07760  
 Telephone ~ 732-842-3800 ~ fax 732-842-7777 ~ www.amcatrchitect.com

REVISIONS	DATE

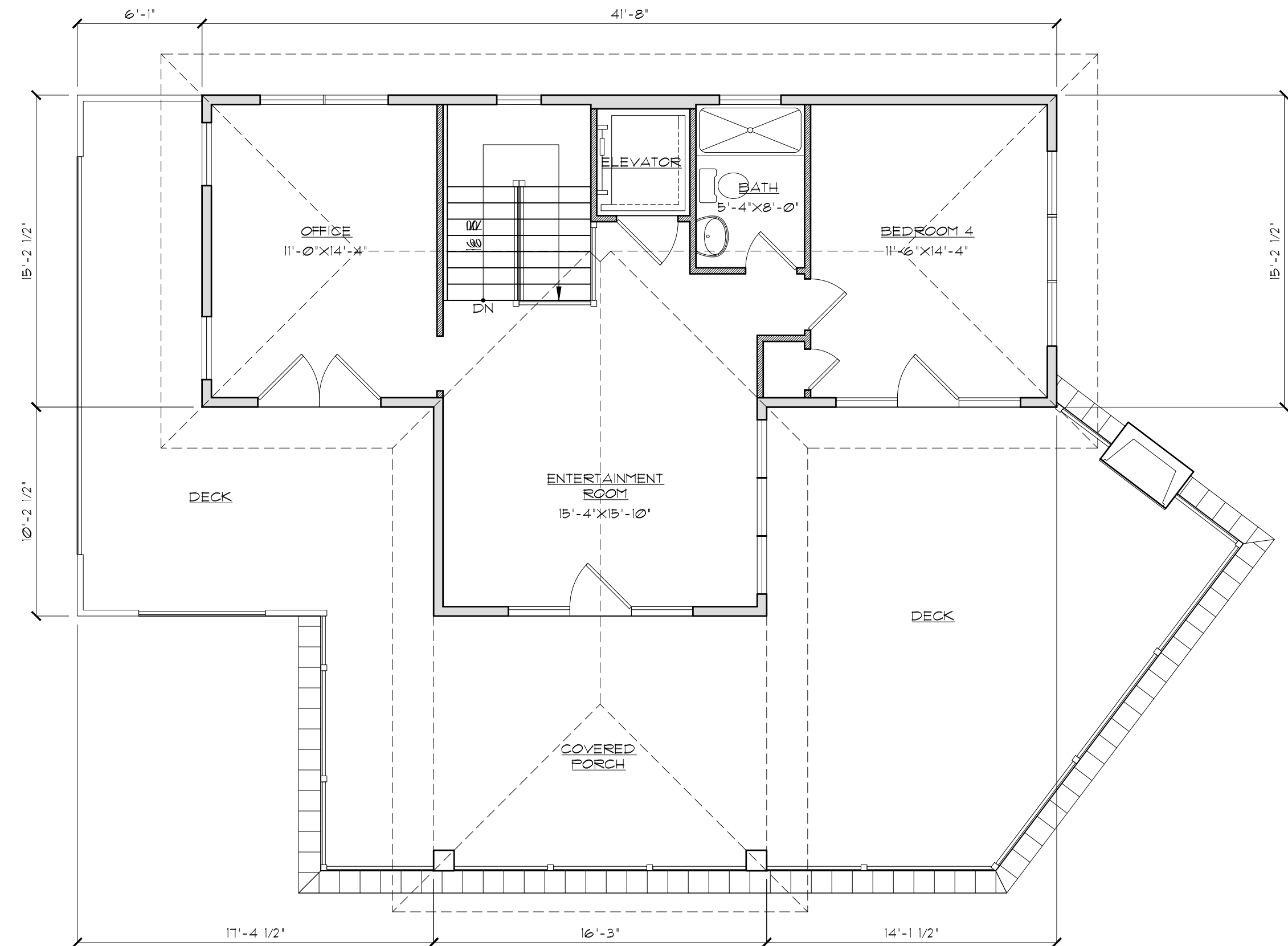
CLIENT	TATELMAN RESIDENCE
ADDRESS	6 WILLOW WAY SEA BRIGHT, NEW JERSEY
JOB NUMBER	18-004
LOT	7.01

DATE	10/05/21
DRAWN BY	JM
SHEET NO.	<b>V-1</b>

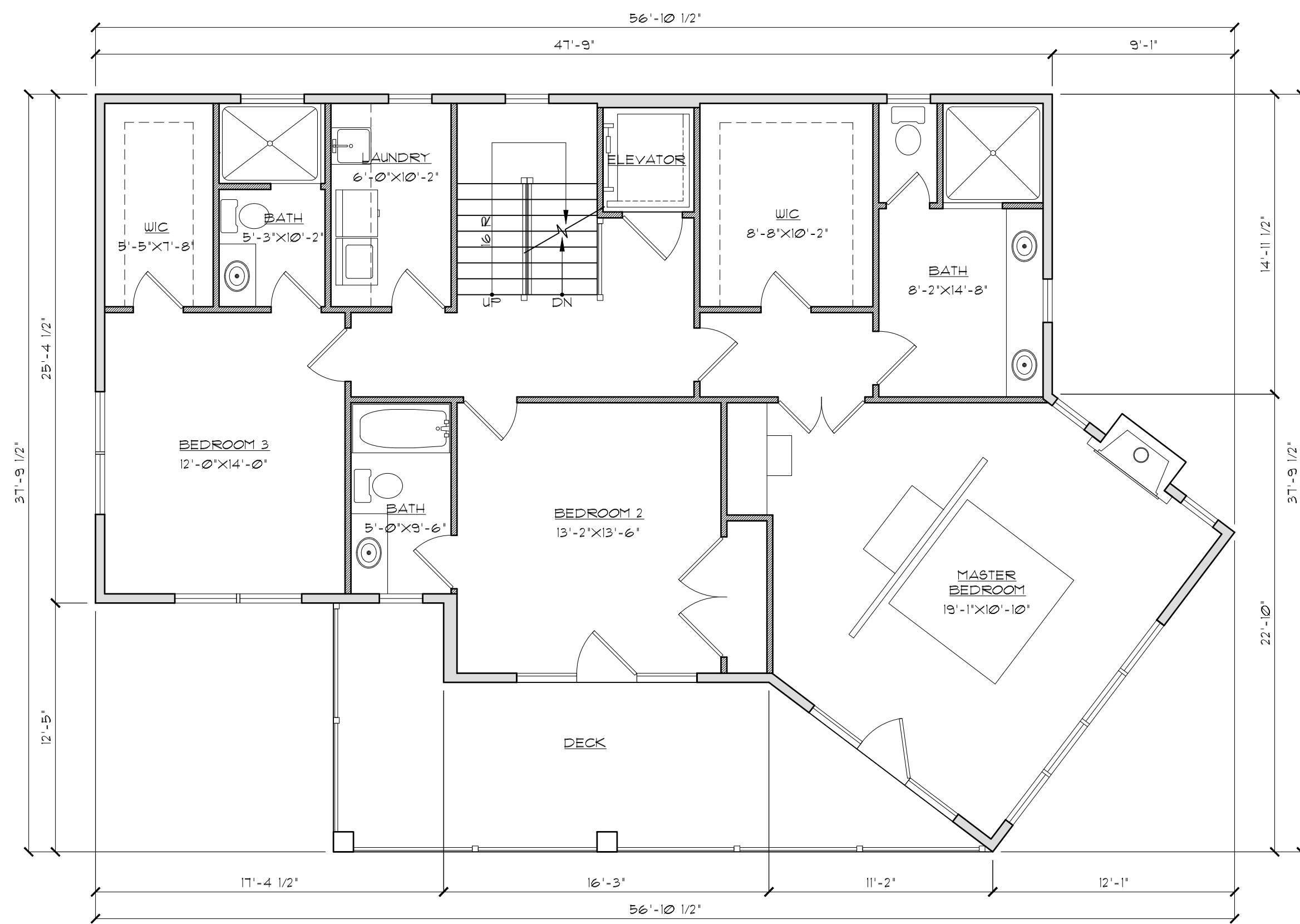
NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO THE START AND COMPLETION OF WORK.



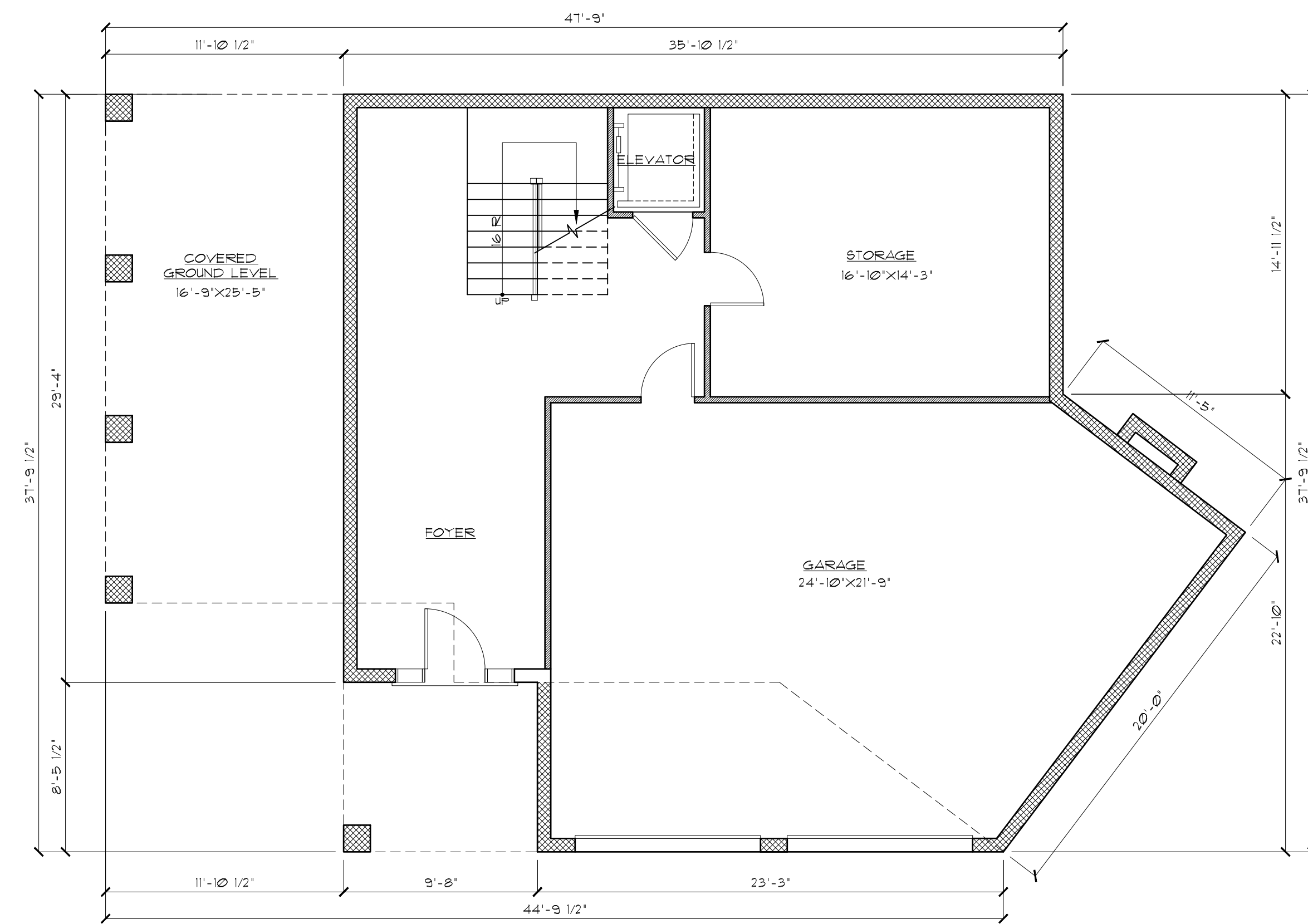
**SECOND FLOOR PLAN**  
SCALE: 3/16" = 1'-0"



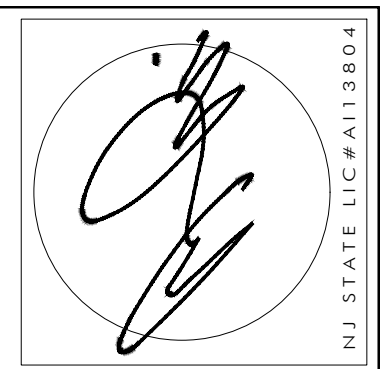
**THIRD FLOOR PLAN**  
SCALE: 3/16" = 1'-0"



**FIRST FLOOR PLAN**  
SCALE: 3/16" = 1'-0"



**GROUND ENCLOSURE PLAN**  
SCALE: 3/16" = 1'-0"



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REVISIONS	DATE

CLIENT: TATELMAN RESIDENCE  
 ADDRESS: 6 WILLOW WAY, SEA BRIGHT, NEW JERSEY  
 JOB NUMBER: 18-004  
 BLOCK: 21  
 LOT: 1.01

DRAWN BY: JMY  
 DATE: 10/05/21  
 SHEET NO.: **V-2**

NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO THE START AND COMPLETION OF WORK.



LEFT SIDE ELEVATION  
SCALE: 3/16" = 1'-0"



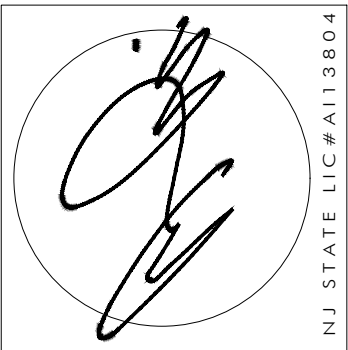
FRONT ELEVATION  
SCALE: 3/16" = 1'-0"



RIGHT SIDE ELEVATION  
SCALE: 3/16" = 1'-0"



REAR ELEVATION  
SCALE: 3/16" = 1'-0"



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REVISIONS	DATE

CLIENT	TATELMAN RESIDENCE
ADDRESS	6 WILLOW WAY SEA BRIGHT, NEW JERSEY
JOB NUMBER	18-004
BLOCK	21
LOT	1.01

DATE	10/05/21
DRAWN BY	JM
SHEET NO.	<b>V-3</b>

NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO THE START AND COMPLETION OF WORK.