

CATHERINE FRANCO
ARCHITECT
&
PLANNER

architecturedevelopmentstrategiesplanning

150 MONMOUTH AVENUE
ATLANTIC HIGHLANDS, NEW JERSEY 07716
TEL: 732.291.5942
E-MAIL: CFARCHITECTS@HOTMAIL.COM

INTELLECTUAL PROPERTY
ALL DRAWINGS AND CORRESPONDENCE HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THIS FIRM. THE UNAUTHORIZED REPRODUCTION OF ANY AND ALL WORK FOR THE PURPOSE OF COPYING OR RE-USING SAID DRAWINGS SHALL BE CONSIDERED A VIOLATION OF BOTH THE PROFESSIONAL CODE OF ETHICS AND A THEFT OF COMPANY ASSETS BOTH OF WHICH SHALL BE PROSECUTED TO THE FULLEST EXTENT OF THE STATUTES.

APPROVED / DISAPPROVED BY THE BOROUGH
OF SEA BRIGHT PLANNING BOARD / BOARD OF ADJUSTMENTS
ON _____ DATE _____
CHAIRMAN _____ SECRETARY _____

REVISIONS

No.	Date	Description
1	4.24.21	RESOLUTION
2	12.25.21	CONDO AGREEMENT

Project:
PROPOSED HOUSE LIFT & ADDITION
FOR
164 OCEAN AVE., SEA BRIGHT NJ
LOT: 20.01 BLOCK: 33

Owner:
MR. & MRS. PHAN
164 OCEAN AVE.
SEA BRIGHT
NEW JERSEY

Drawing Title:

Project No. A-1720 Date 9.25.17

CATHERINE FRANCO, AIA
NJ RA A111411
NJ PP 5416

Drawn by:
CF

Dwg. No.
Z1
1 of 4

ZONING INFORMATION R-2

	REQUIRED	EXISTING	PROVIDED
V - PE	LOT AREA (MIN) 4000 SF	5600 SF	
	LOT WIDTH (MIN) 50'	40'	
	LOT DEPTH (MIN) 60'	140'	
V - N	SETBACKS		
	FRONT 25'	33.4' / 4.8'	25.5' / 4.8'
	REAR NA	NA	NA
V - N	SIDE (EACH) 7', 8'	41.83' / 4.8'	41.83' / 4.8'
	SIDE (BOTH) 15'	9.4'	9.4'
	LOT COVERAGE (MAX) 70%	xx%	37.4%(2092SF)
	BUILDING COVERAGE (MAX) 50%	18%(1008SF)	32.4%+-=(1811SF)
	BUILDING HT-FROM GRADE TO MEAN ROOF 33'	20'	33'

V - PE - VARIANCE FOR PRE EXISTING CONDITION
V - N - VARIANCE FOR NEW CONDITION
V - PE - EXISTING TWO FAMILY - VARIANCE FOR EXPANDING ON NON-COMFORMITY



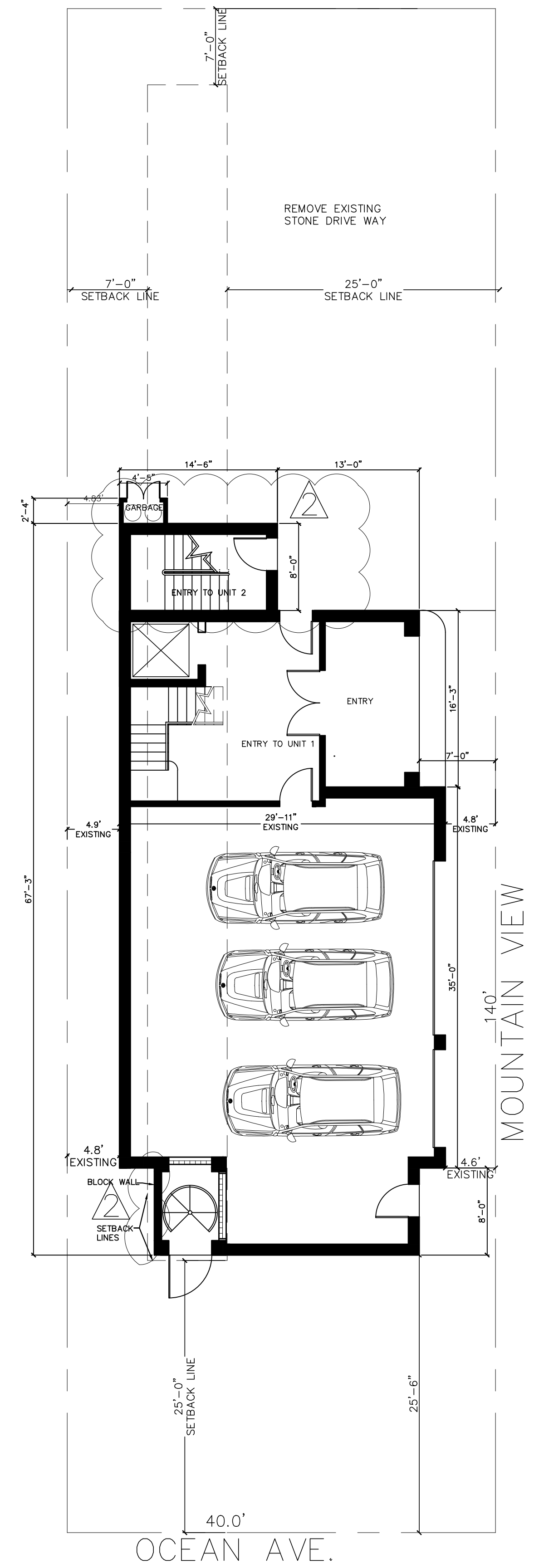
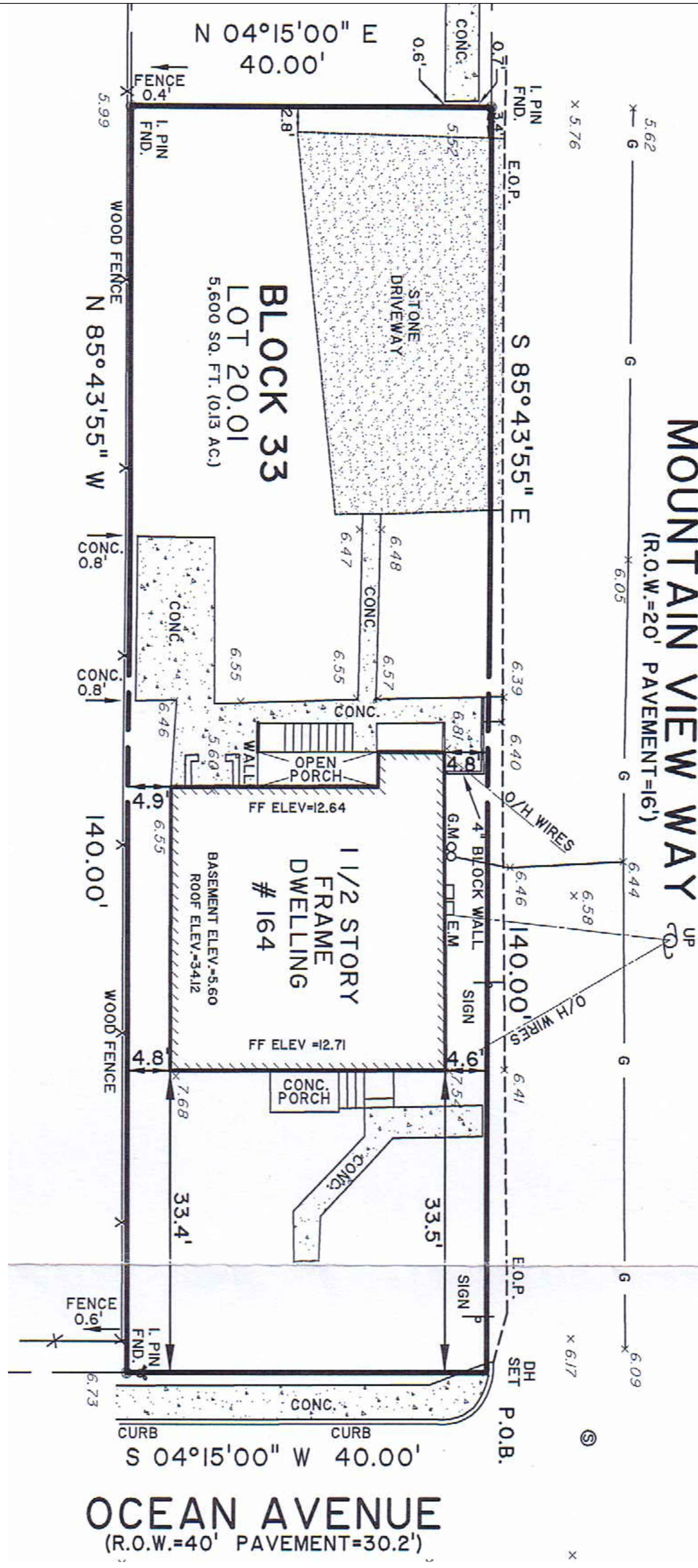
OCEAN AVE. VIEW



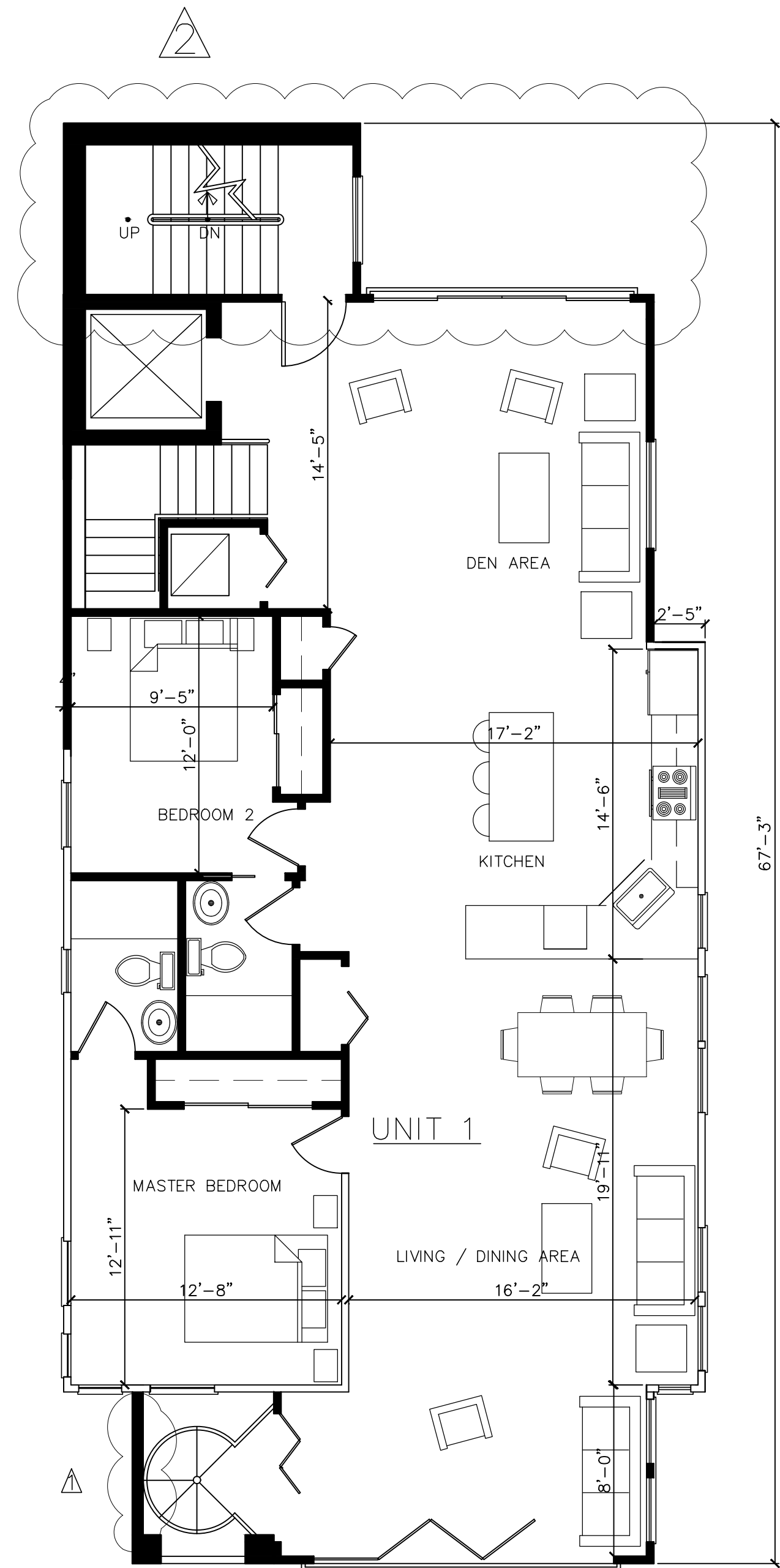
ARIEL VIEW

SURVEY BY:
SCALE 1/8" = 1'-0"

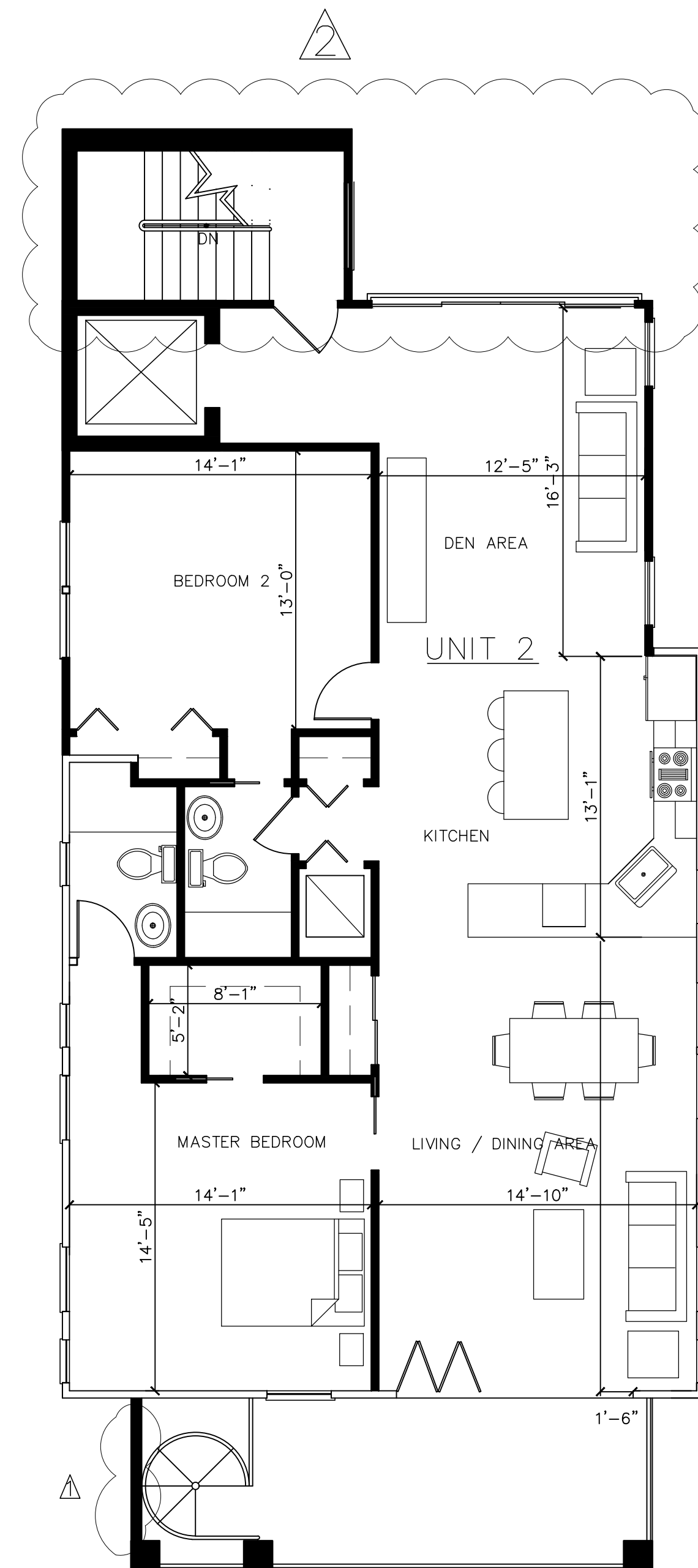
SURVEY OF PROPERTY
BLOCK 33 LOT 20.01
BROUGHT TO SEA BRIGHT, MONMOUTH COUNTY, NEW JERSEY
C.C. WIDDIS SURVEYING, LLC
175 Broadway, Long Branch, New Jersey 07740
Phone: 732.223.0000 - Fax: 732.223.0004
www.cdwiddissurveying.com
WILLIAM H. ZIEMAN, JR.
P.E. Professional Land Surveyor
14, PROFESSIONAL LAND SURVEYING, Chapter 14, 1986



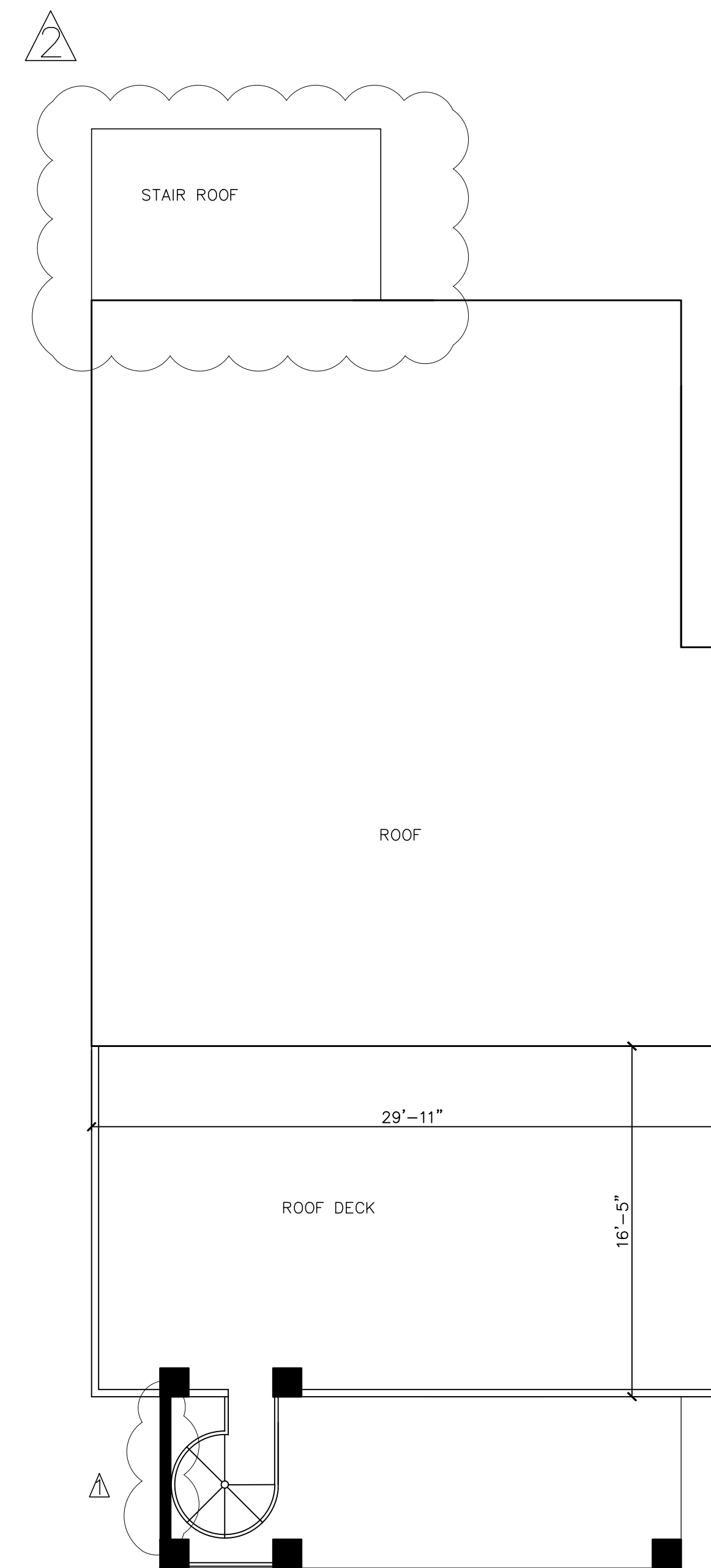
SITE PLAN / GRADE PLAN
SCALE 1/8" = 1'-0"



FIRST FLOOR PLAN
SCALE : $\frac{3}{16}$ " = 1'-0"



SECOND FLOOR PLAN
SCALE : $\frac{3}{16}$ " = 1'-0"



ROOF & ROOF DECK PLAN
SCALE : $\frac{3}{16}$ " = 1'-0"

CATHERINE FRANCO
ARCHITECT
&
PLANNER

architecturedevelopmentstrategiesplanning

150 MONMOUTH AVENUE
ATLANTIC HIGHLANDS, NEW JERSEY 07716
TEL: 732.291.5942
E-MAIL: CFARCHITECTS@HOTMAIL.COM

INTELLECTUAL PROPERTY
ALL DRAWINGS AND CORRESPONDENCE HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THIS FIRM. THE UNAUTHORIZED REPRODUCTION OF ANY AND ALL WORK FOR THE PURPOSE OF COPYING OR RE-ISSUING SAID DRAWINGS SHALL BE CONSIDERED A VIOLATION OF BOTH THE PROFESSIONAL CODE OF ETHICS AND A THEFT OF COMPANY ASSETS BOTH OF WHICH SHALL BE PROSECUTED TO THE FULLEST EXTENT OF THE STATUTES.

REVISIONS

No.	Date	Description
1	4.24.21	RESOLUTION
2	12.25.21	CONDO AGREEMENT

Project:
PROPOSED HOUSE LIFT & ADDITION
FOR
164 OCEAN AVE., SEA BRIGHT NJ
LOT: 20.01 BLOCK: 33

Owner:
MR. & MRS. PHAN
164 OCEAN AVE.
SEA BRIGHT
NEW JERSEY

Drawing Title:

Project No. A-1720 Date 9.25.17

CATHERINE FRANCO, AIA
NJ RA A111411
NJ PP 5416

Drawn by:
CF

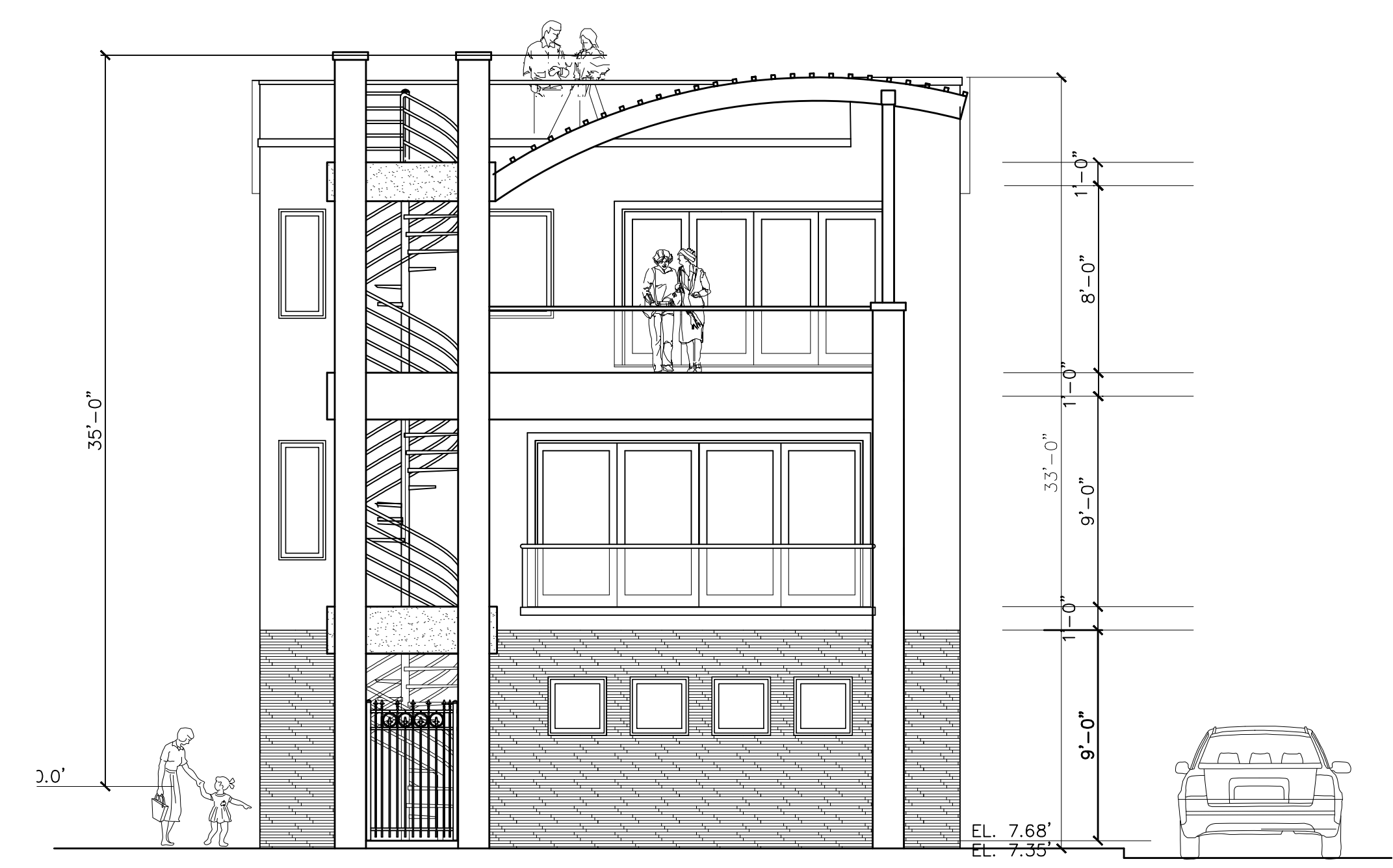
Dwg. No.
Z2
2 of 4

CATHERINE FRANCO
ARCHITECT
&
PLANNER

architecturedevelopmentstrategiesplanning

150 MONMOUTH AVENUE
ATLANTIC HIGHLANDS, NEW JERSEY 07716
TEL: 732.291.5942
E-MAIL: CFARCHITECTS@HOTMAIL.COM

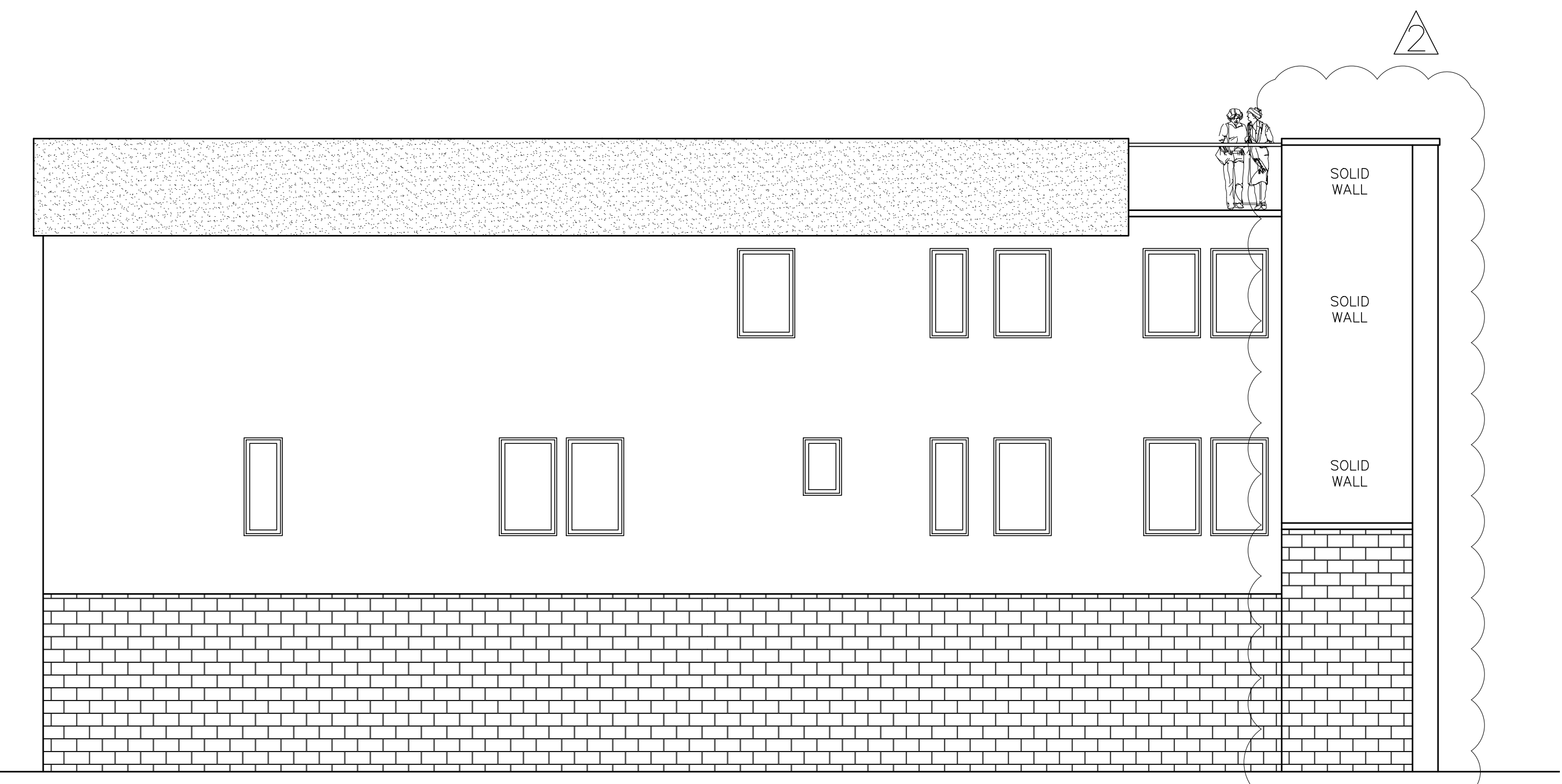
INTELLECTUAL PROPERTY
ALL DRAWINGS AND CORRESPONDENCE HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THIS FIRM. THE UNAUTHORIZED REPRODUCTION OF ANY AND ALL WORK FOR THE PURPOSE OF COPYING OR RE-USING SAID DRAWINGS SHALL BE CONSIDERED A VIOLATION OF BOTH THE PROFESSIONAL CODE OF ETHICS AND A THEFT OF COMPANY ASSETS BOTH OF WHICH SHALL BE PROSECUTED TO THE FULLEST EXTENT OF THE STATUTES.



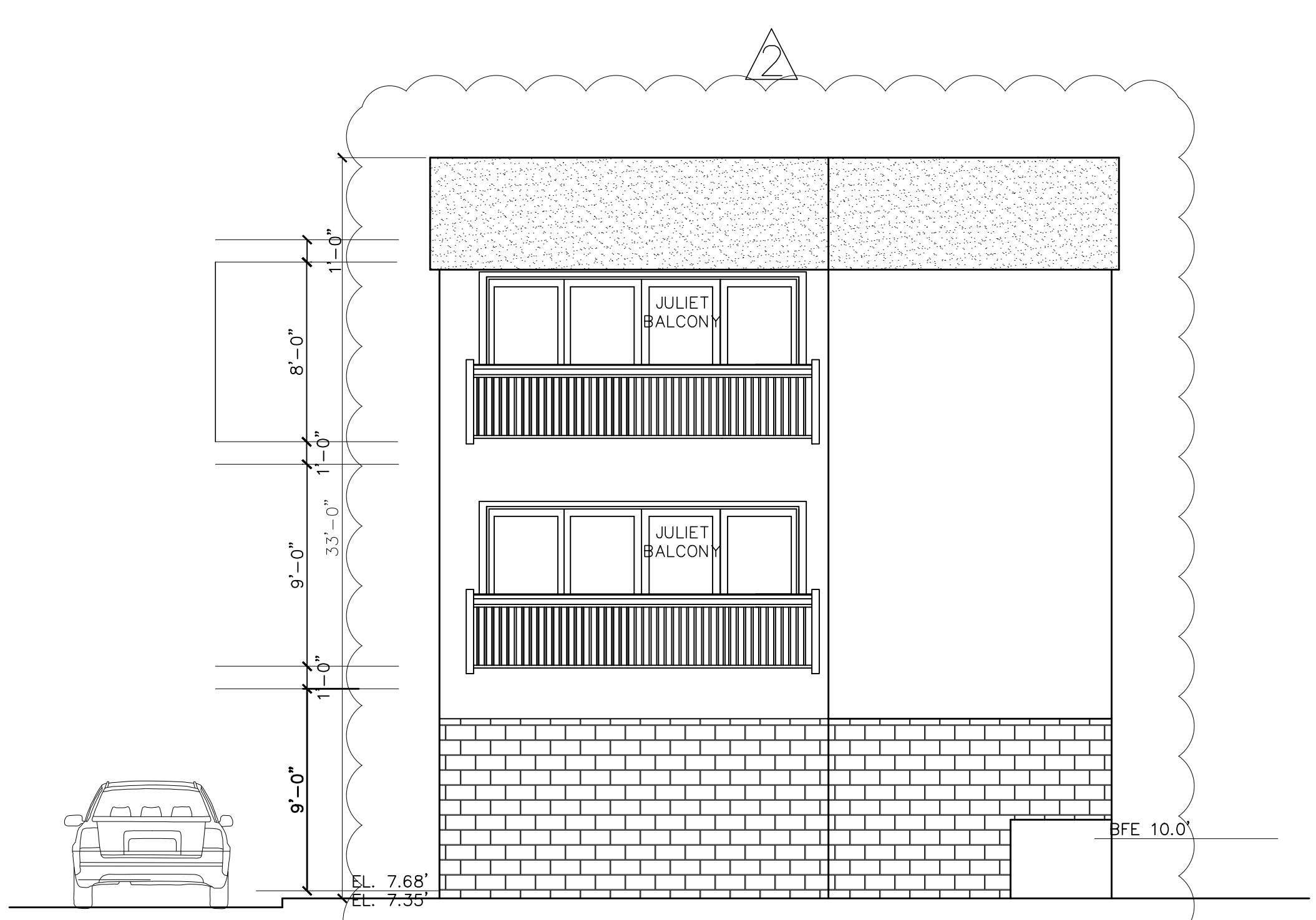
OCEAN AVE. ELEVATION
SCALE 3/16" - 1'-0"



MOUNTAIN VIEW WAY
SCALE 3/16" - 1'-0"



LEFT ELEVATION
SCALE 3/16" - 1'-0"



REAR ELEVATION
SCALE 3/16" - 1'-0"

REVISIONS		
No.	Date	Description
1	4.24.21	RESOLUTION
2	12.25.21	CONDO AGREEMENT

Project:
PROPOSED HOUSE LIFT & ADDITION
FOR
164 OCEAN AVE., SEA BRIGHT NJ
LOT: 20.01 BLOCK: 33

Owner:
MR. & MRS. PHAN
164 OCEAN AVE.
SEA BRIGHT
NEW JERSEY

Drawing Title:

Project No. A-1720 Date 9.25.17

CATHERINE FRANCO, AIA
NJ RA A111411
NJ PP 5416

Drawn by:
CF

Dwg. No.
Z3
3 of 4

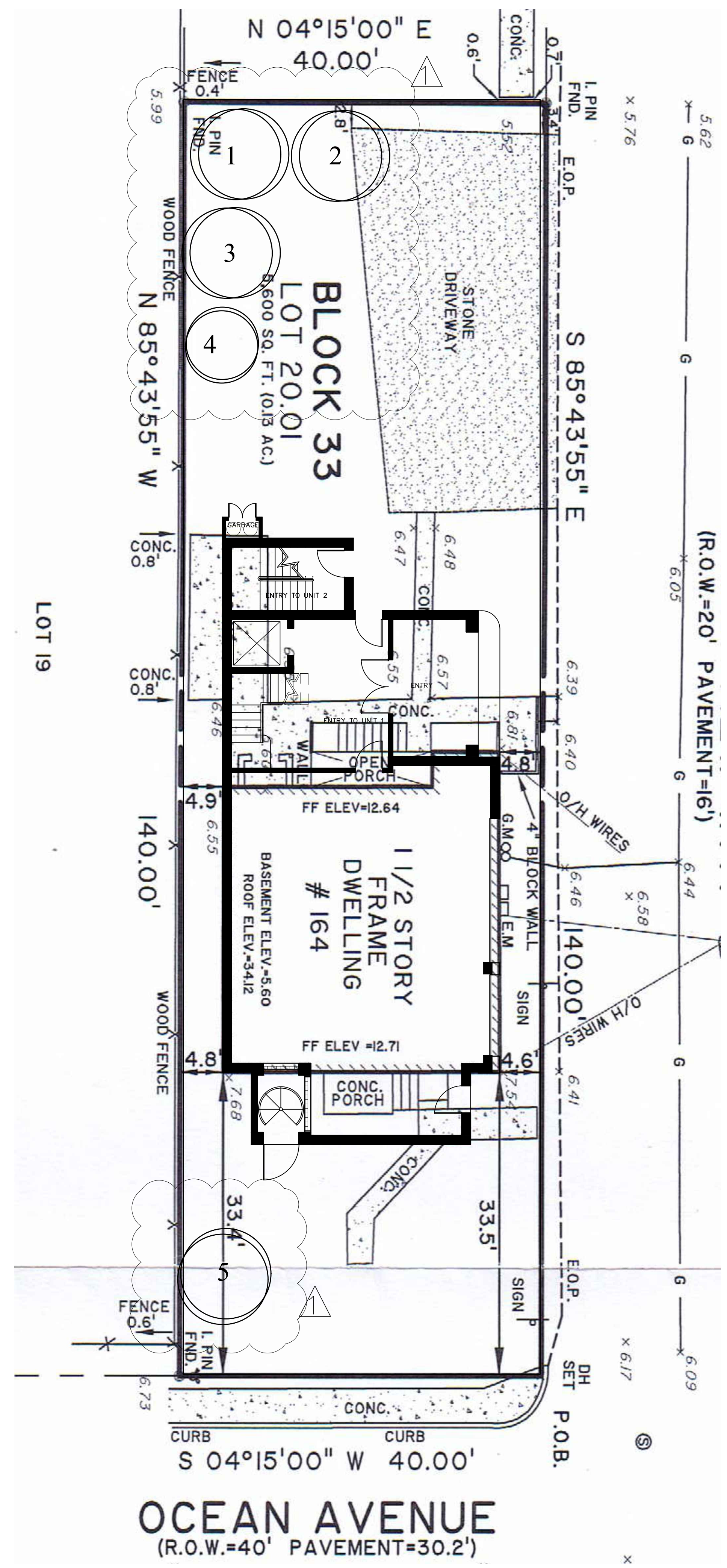
INTELLECTUAL PROPERTY
 ALL DRAWINGS AND CORRESPONDENCE HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THIS FIRM. THE UNAUTHORIZED REPRODUCTION OF ANY AND ALL WORK FOR THE PURPOSE OF COPYING OR RE-ISSUING SAID DRAWINGS SHALL BE CONSIDERED A VIOLATION OF BOTH THE PROFESSIONAL CODE OF ETHICS AND A THEFT OF COMPANY ASSETS BOTH OF WHICH SHALL BE PROSECUTED TO THE FULLEST EXTENT OF THE STATUTES.

REVISIONS		
No.	Date	Description
1	4.24.21	RESOLUTION
2	12.25.21	CONDO AGREEMENT

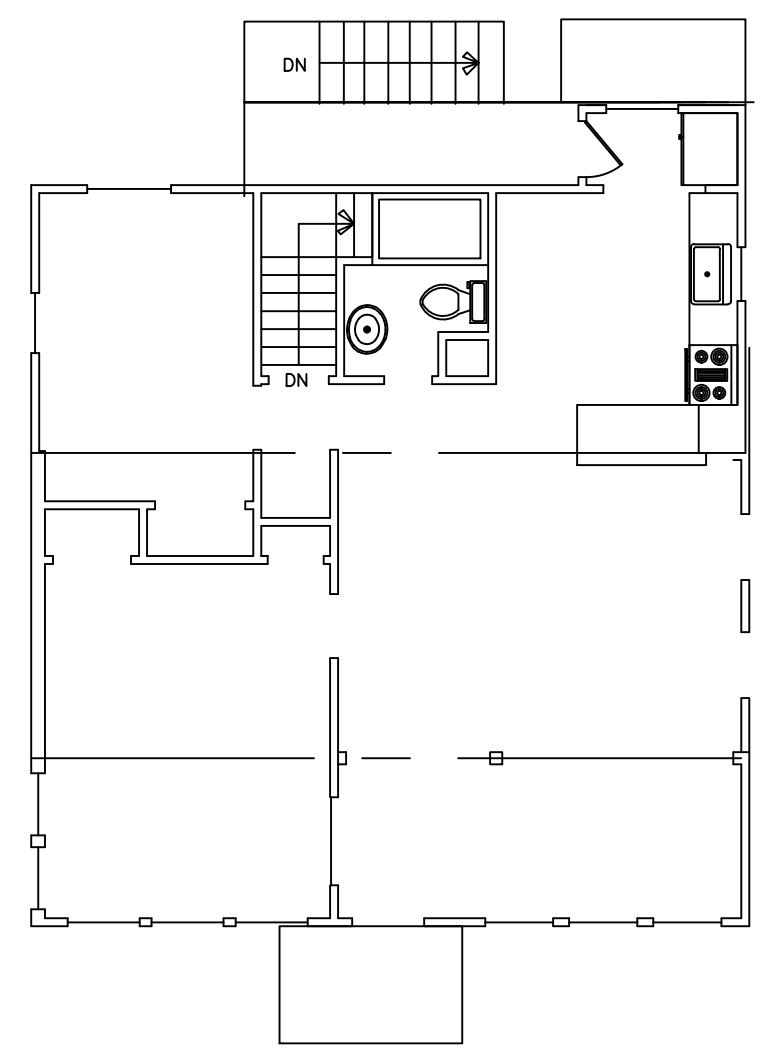
Project:
 PROPOSED HOUSE LIFT & ADDITION FOR
 164 OCEAN AVE., SEA BRIGHT NJ
 LOT: 20.01 BLOCK: 33

Owner:
 MR. & MRS. PHAN
 164 OCEAN AVE.
 SEA BRIGHT
 NEW JERSEY

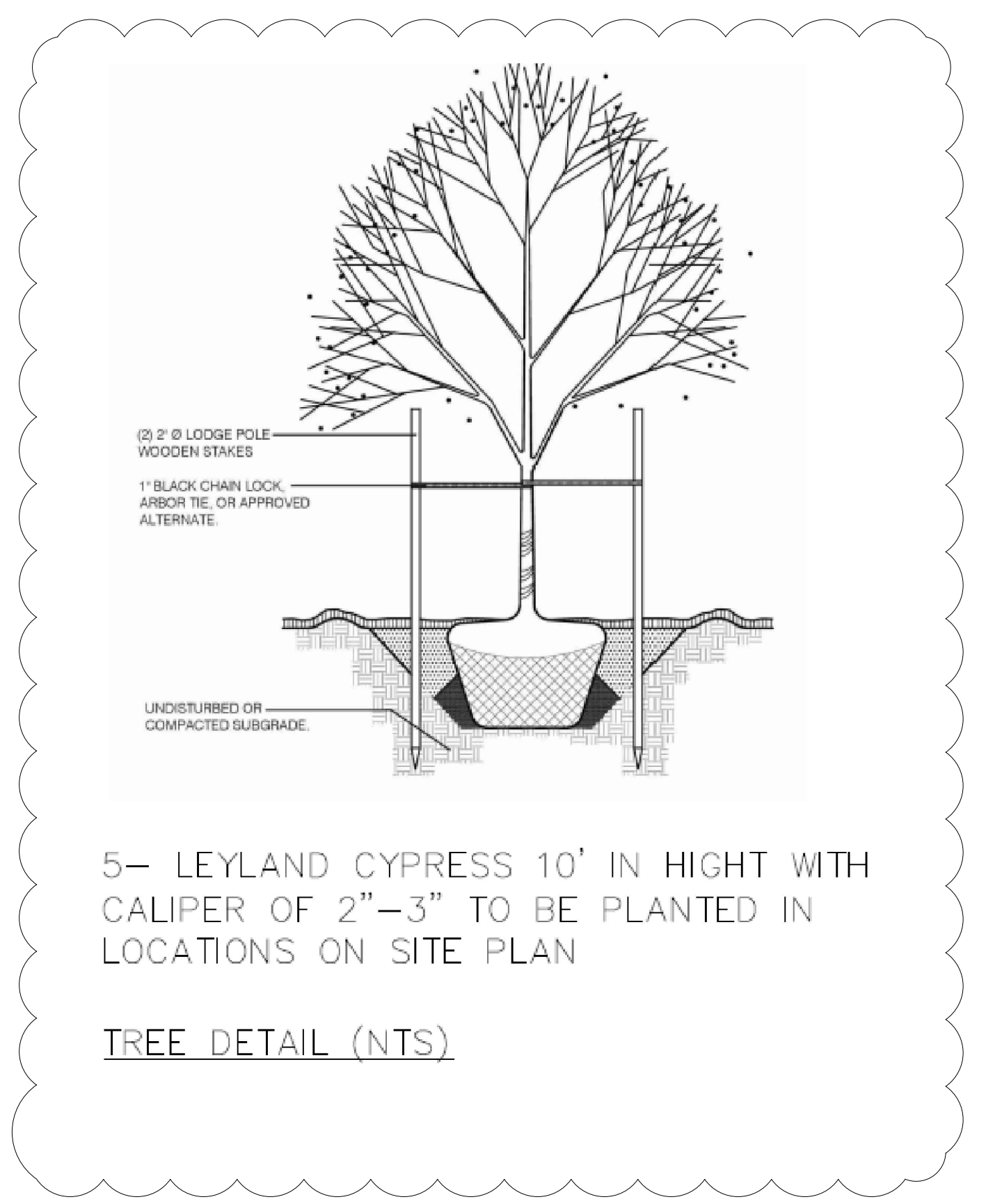
Drawing Title:
 Project No. A-1720 Date 9.25.17
 CATHERINE FRANCO, AIA NJ RA A111411 NJ PP 5416
 Drawn by: CF
 Dwg. No. Z4
 4 of 4



OCEAN AVENUE
 (R.O.W.=40' PAVEMENT=30.2')



EXISTING FIRST FLOOR
 SCALE 1/8" = 1'-0"



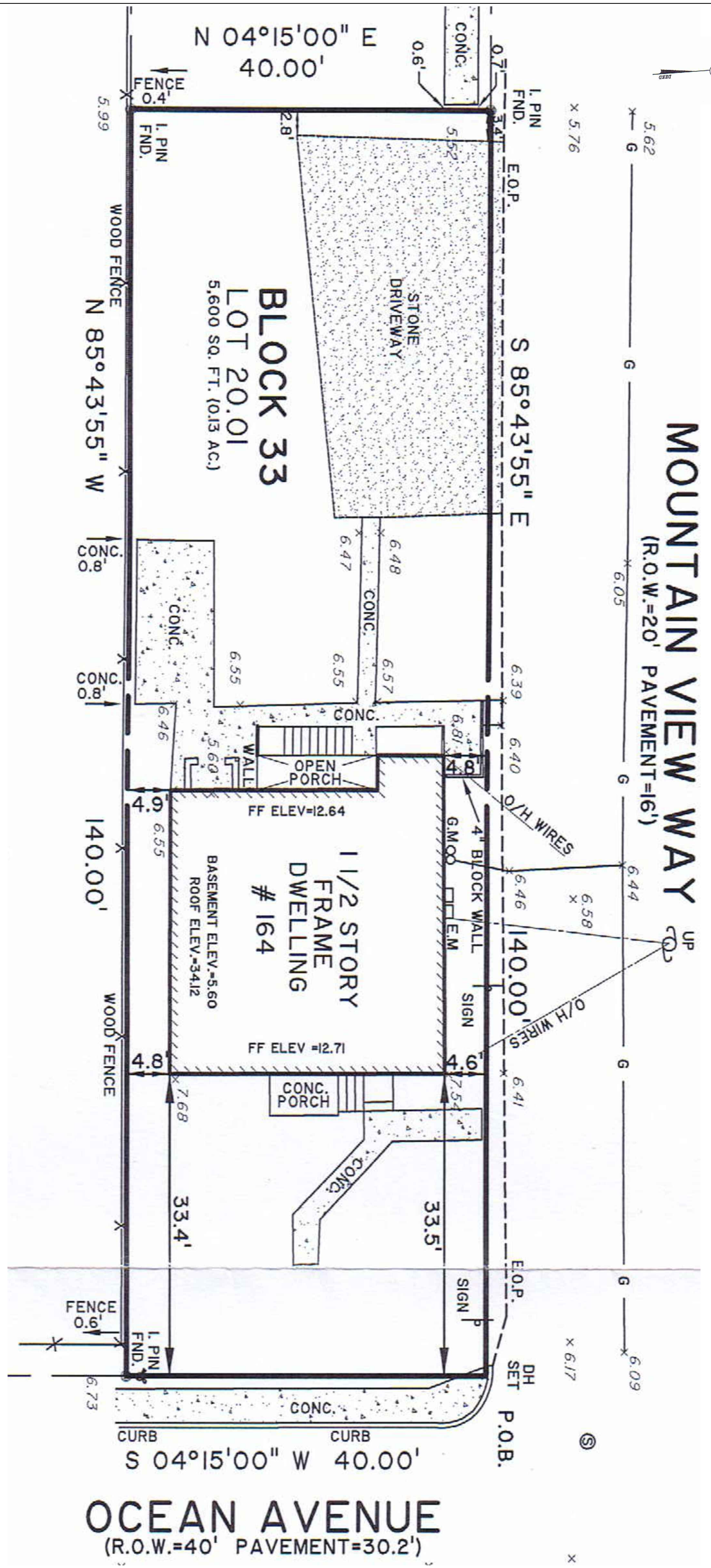
5- LEYLAND CYPRESS 10' IN HEIGHT WITH CALIPER OF 2"-3" TO BE PLANTED IN LOCATIONS ON SITE PLAN

TREE DETAIL (NTS)

LANDSCAPE PLAN
 SCALE 1/8" = 1'-0"

SURVEY BY:
 SCALE 1/8" = 1'-0"

SURVEY OF PROPERTY
 BLOCK 33 LOT 20.01
 C.C. WIDDIS SURVEYING, LLC
 WILLIAM H. ZIEMAN, JR.
 S.E. Professional Land Surveyor



OCEAN AVENUE
 (R.O.W.=40' PAVEMENT=30.2')

MOUNTAIN VIEW WAY
 (R.O.W.=20' PAVEMENT=16')