

# SPECIFICATIONS:

## BIDDING REQUIREMENTS, CONTRACT FORMS, AND CONDITIONS OF THE CONTRACT

**00100 Instructions to Bidders:** Each Bidder shall visit the site of the proposed work and fully acquaint himself with the conditions as they exist in order that the restrictions attending the work are understood. All areas and dimensions are indicated on the drawings as accurately as possible, but all conditions shall be verified by each Contractor and/or Subcontractor at the site. The failure of any Bidder to examine or receive any form, instrument or document or to visit the site shall not relieve the Bidder from any obligation with respect to his bid. The submission of a bid shall acknowledge that the Contractor and his subcontractors have fully examined the site and know the existing conditions and has made provisions for operating under the conditions as they exist at the site and has included all necessary items.

**Structural Data:** (Loads indicated are in pounds per square foot and were used to design structural members)

First Floor Live Load :100 (Deck area)  
 Dead Load :10  
 Total Load :110  
 Special Loads : Wind loads Maximum =48.4 p.s.f.

Soil Bearing Capacity: All attachments are on top of existing sea wall 3000 psf design refer to Section 02010 for Contractor requirements.

## SPECIFICATION SECTIONS

### DIVISION 1 - GENERAL REQUIREMENTS

**01010 Summary of Work:** The work shall include constructing a new concrete and wood framed sun deck on the existing sea wall at Edgewater Beach Club. The decking and railing details are intended to match those on the main building. The access stairs will be reconstructed to fit with the new deck structure with 7" max risers and 11" treads. The deck will have electric outlets and lighting and will have hose bibs run to several locations.

**01012 Work by Others:** The Owner will have work performed under separate contracts, concurrently, with the work of this contract. Contractor shall permit access to the project to these contractors to perform their work.

**01018 Owner Furnished Items:** The following items will be supplied by the Owner and shall include providing the necessary wiring, piping, fasteners, supports, etc., cutting holes, etc.

**01020 Allowances:** The amount of each allowance includes the cost of the product to the Contractor, less any applicable trade discounts and applicable taxes. In addition to each allowance, include in the contract sum the Contractor's cost for delivery to and handling at the site, protection, labor for installation and finishing, other expenses required to complete the installation and finishing, other expenses required to complete the installation and the Contractor's overhead and profit. Specific allowances are included within the various Divisions. Where an allowance is based upon a unit of measure (square yard, lineal foot, cubic inch, etc.), the actual quantity of the product installed shall serve as the basis for adjusting the contract sum. Where the characteristics of the product require the purchase of more material than will be installed, the cost of the additional material shall be included in the contract sum.

**01030 Schedules, Reports, Payments:** Submit request for payment once each month using A.A. Form G702.

**01051 Existing Conditions:** All conditions and dimensions shall be verified by the Contractor prior to the start of construction. It is the Contractor's responsibility to report, in writing, any significant variations or discrepancies of the conditions noted or implied, to the Architect, immediately upon discovery of such conditions.

**01060 Regulatory Requirements:** These contract documents were prepared in accordance with the New Jersey Uniform Construction Code, and 2018 International Building Code. The Contractor shall conform to this and other applicable local, county, state and federal codes, laws and requirements, and FEMA regulations. Structure is in a V Flood zone elevation.

**01063 Permit Fees:** The Contractor shall apply and pay for the Construction Permit, Certificate of Occupancy and all other required permits or licenses. Contractor is responsible for obtaining all local inspections and permits prior to construction.

**01090 Definition and Standards:** The term "provide" means furnish and install, complete, and ready for intended use, as applicable in each instance. The term "Architect" shall mean Michael J. Monroe, Registered Architect.

**01240 Shop Drawings, Project Data and Samples:** Submit shop drawings, samples, product data to the Architect. Work of the affected sections shall not proceed until the Architect has reviewed and accepted submittals. Schedule a minimum of 14 days for Architect's review and response.

**01070 Schedule of Values:** Contractor shall submit to Architect a Schedule of Values within fifteen (15) days of execution of contract.

**01500 Temporary Facilities:** Temporary water and power are available at the site and shall be provided by contractor. Contractor shall provide temporary sanitary facilities.

**01700 Project Closeout:** Remove all debris from site, clean windows, floors, and other exposed surfaces and remove labels. "Clean" is defined to mean that which is expected for a first class building cleaning and maintenance program. Provide Owner with Certificate of Occupancy and general operating/maintenance instructions for all installed equipment.

**01740 Warranties and Bonds:** The Contractor shall guarantee all labor and materials used in this project for a period of one (1) year commencing from the date of the issuance of the Certificate of Substantial Completion. Any deficiencies that become evident during this one (1) year period, shall be corrected at the Contractor's expense.

### DIVISION 2 - SITEWORK

**02010 Subsurface Investigation:** Contractor shall investigate the subsurface to ensure the soil has a safe bearing capacity of 3000 pounds (1 1/2 tons) per square foot. Footing elevations shall be adjusted to the actual levels of accepted bearing strata found upon excavation. Notify Architect of any unusual conditions.

**Foot and Slope Protection:** Bottom of exterior footing shall be minimum of 3'-0" below finished grade for erosion protection. Maximum slope between the bottom of adjacent footings shall be one vertical to two horizontal.

**02050 Shoring and Bracing:** Contractor shall fully brace and otherwise protect all work in progress until building is completed. Provide all necessary guying work and bracing required to erect and hold the building frame in alignment until all walls, floors and roof deck are installed.

**02000 Earthwork:** Excavate as required to install footings & to maintain finished floor elevation. Backfill with clean soil, free of deleterious materials. Finish grade around new addition and slope grade away from building. Compact soil in areas to receive concrete floors or slabs to 95%. This must be done in lifts and compacted every 12 inches.

**02514 Portland Cement Concrete Paving:** Concrete sidewalks, ramps, footings, walls, and slabs, and slabs to be minimum 4000 psi. Concrete curbing to be minimum 4000 psi. Provide welded wire mesh (ASTM A-185) in all walks, ramps and slabs. Provide expansion joints at intervals not to exceed 20' and provide scoring pattern as indicated on drawings. If not indicated as directed by Architect in field. Provide white concrete in location where indicated on drawings. Broom finish horizontal surfaces for barrier-free accessibility.

### DIVISION 3 - CONCRETE

**03310 Concrete Work:** Provide reinforcing bars conforming to ASTM A-615, Grade 60 (new billet steel) and welded wire mesh conforming to ASTM A-185 of sizes indicated on drawings. Bars marked continuous shall be lapped 40 times the bar diameter at splices and corners and hooked at non-continuous ends. Lap top bars at the center between supports and lap continuous bottom bars at supports. Provide supports for reinforcement, including chairs, bolsters, spacers, etc. as required or indicated on drawings.

**Cast-in-Place Concrete:** All footing and slabs shall be minimum 4000 psi or as indicated on drawings. Concrete content shall be minimum of 5.75 bags per cubic yard. Trowel finish all exposed-to-view surfaces or surfaces to be covered with resilient flooring or carpet. Concrete exposed to weather shall be air entrained. Slump shall be four inches. All work, mixing and testing shall be in accordance with ACI Code, 318-77. Placement of concrete in cold weather shall conform to ACI 306-72 and placement of concrete in hot weather shall conform to ACI 305-77. Submit all reports to Architect.

### DIVISION 5 - METALS

**05120 Structural Steel:** Provide steel shapes, plates and bars conforming to ASTM A-36 (F<sub>y</sub> = 24,000 psi). Shop paint all steel, except those embedded in concrete and contact areas to be welded. All shop connections shall be welded, or high strength bolted. Field connections shall be high strength bolted. Comply with the AWS Code for welding procedures, and AISC codes and specifications for fabrication and erection. Submit shop drawings for acceptability prior to erection. Allow two weeks for shop drawing approval.

### DIVISION 6 - WOOD AND PLASTICS

#### 06100 Rough Carpentry

**Lumber:** All deck framing lumber shall be #1 treated southern yellow pine.

**Plywood:** Provide 1/2" plywood backer boards for new electrical panels where required. Wall Sheathing: 1/2" CDX plywood

#### 06200 Finish Carpentry

**Exterior Finish Carpentry:** Provide exterior trim to match the existing main building and as per owners direction and as per the construction documents. All exterior trim to be match main building.

### DIVISION 15 - PLUMBING & HEATING, VENTILATING & AIR CONDITIONING

**These construction documents do not include the design of plumbing and heating, ventilation and air conditioning systems.** The Architect assumes no responsibility for their design. The entire building is seasonal use and is unheated and uncooled except for the kitchen, bar, tea room and second floor offices.

**15400 Plumbing Systems:** Provide and install all required piping for the sanitary drainage, cold and hot water supply and natural gas supply. Obtain all required permits, inspections and approvals. Coordinate all work with the General Contractor and the applicable utility companies. The entire installation shall comply with the National Standard Plumbing Code, State Codes and local ordinances and the local gas company and water company.

**15410 Hot and Cold Water Piping:** Above ground piping shall be per water service grade piping.

**15411 Soil and Waste Piping Systems:** All waste piping under concrete shall be service weight cast iron soil pipe, Schedule 40 ABS. All above ground waste and vent piping shall be Schedule 40 PVC with DWV-type fittings.

### DIVISION 16 - ELECTRICAL

**16000 ELECTRICAL:** These construction documents do not include the design of any electrical systems. The Architect assumes no responsibility for their design.

**16050 Basic Materials and Methods:** Provide and install all required wiring for the exterior electrical service to the building. Obtain all required, inspections, and approvals. Coordinate all work with the General Contractor and the applicable utility companies. The entire installation shall comply with the requirements of the National Electric Code, State Code and local ordinances and the local Electric Utility Company and the telephone company.

**16400 Service and Distribution:** All wiring shall be MC cable wiring and shall be run in conduit when exposed. Provide a new 200 amp single phase exterior sub-panel for the deck electrical location by owner.

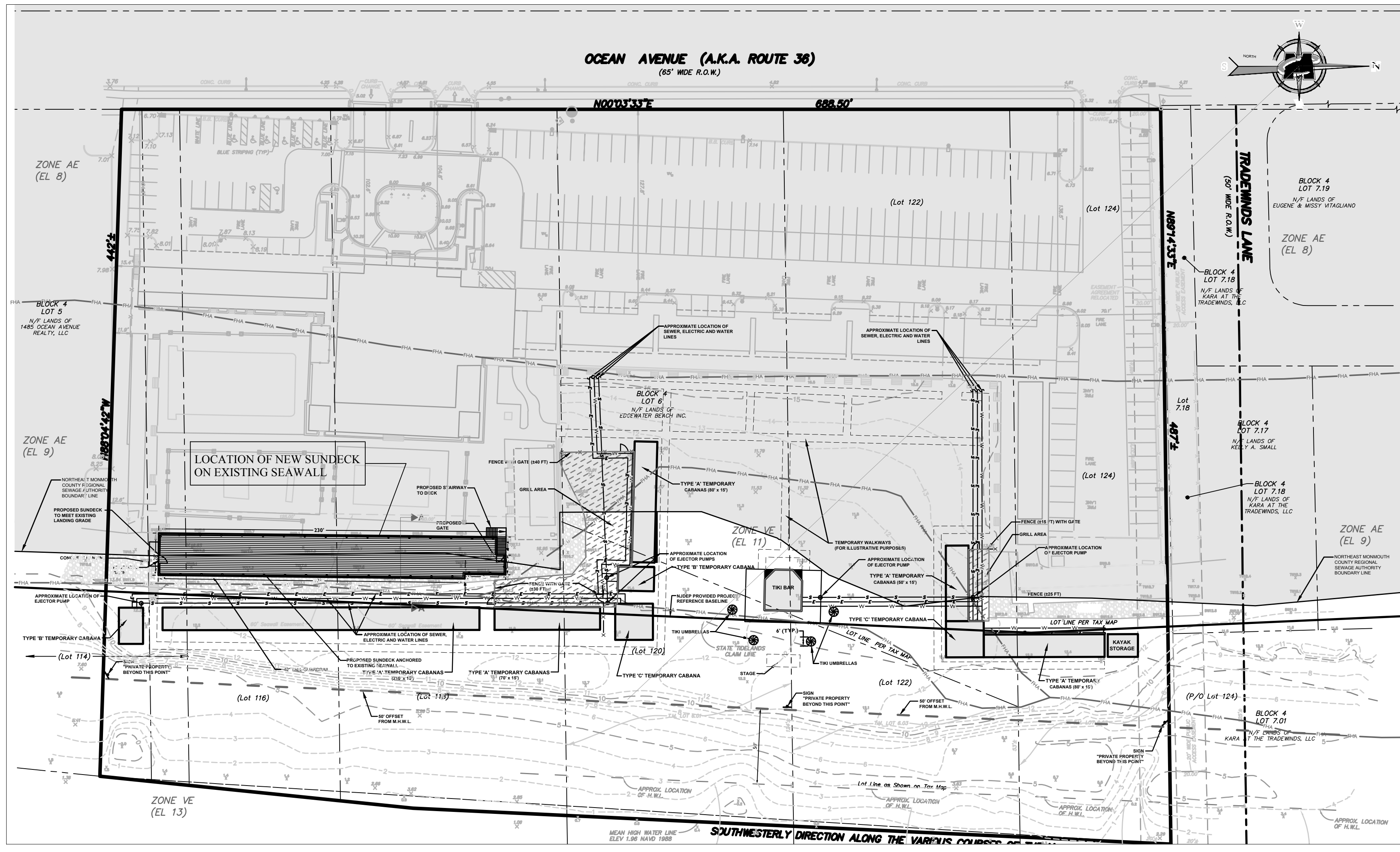
**16134 Outlet Boxes:** Provide convenience outlets where shown on drawings. Outlets to be Hubbell, 3 wire grounding type, 20 amp, 120 volt AC, specification Grade 5360 type, or approval equal. Color of outlet and cover by Architect. All new outlets shall be GFCI protected and exterior outlets shall have weatherproof covers.

**16472 Branch Circuits:** Arrange circuits as shown. Size wiring for circuit loads. Provide ground fault protection circuits as required by code. All wiring shall be copper MC cable. Exposed wiring shall be run in conduit or can be EMT conduit.

**16490 Switches:** Provide switches where shown on drawings. Switches to be Hubbell toggle type, 20 amp, 120 volt AC, specifications grade 1221 type or approved equal. Color of switch and cover by Architect.

**16520 Emergency Lighting System:** Provide emergency lighting system at locations shown plan. Provide battery pack-type units as manufactured by Dual Lite, Newtown, Conn., Model HEZ-2.1. Exit lights shall be McPhibben Compact 50 Line Directional Signs or approved equal.

END OF SPECIFICATIONS -



**1 SITE PLAN**  
 T-1 SCALE: 1"=50'

SITE PLAN INFO TAKEN FROM CAFRA PLAN DATED 3-12-18 BY MASER CONSULTING AND POST GRADING OF THE BEACH PLAN BY CHARLES SURMONTE DATED 6-12-19

## GENERAL NOTES

- ALL CONSTRUCTION TO CONFORM TO THE 2018 INTERNATIONAL BUILDING CODE, LOCAL BUILDING CODE & FEMA REGULATIONS.
- CONCRETE TO BE 4000PSI @ 28 DAYS.
- FINISHED GRADES ARE APPROXIMATE, SUIT TO ACTUAL SITE CONDITIONS.
- VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT IMMEDIATELY IF ANY DISCREPANCIES OR UNUSUAL CONDITIONS ARE FOUND.

## APPLICABLE CODES

**BUILDING SUBCODE (NJAC 5:23-3.14)**  
 International Building Code/2018, NJ ed (IBC w/ NJ edits from 3.14)  
 \* Corrected pages (NJ errata)  
 \* Corrected sections (ICC errata)  
 Other referenced I-Codes (IFC/2018, ISPCS/2018, etc.)  
 Other referenced ICC Standards (ICC/ANSI A117.1-2009, ICC 300-2017, etc.)/Sept. 03, 2019

**PLUMBING SUBCODE (NJAC 5:23-3.15)**  
 National Standard Plumbing Code/2018, NJ ed (NSPC w/ NJ edits from 3.15)/Sept. 03, 2019

**ELECTRICAL SUBCODE (NJAC 5:23-3.16)**  
 National Electrical Code (NFPA 70)/2017  
 (link provides access to all NFPA standards)/Sept. 03, 2019

**ENERGY SUBCODE (NJAC 5:23-3.18)**  
 International Energy Conservation Code/2018 (Low-Rise Residential)  
 ASHRAE 90.1-2016 (Commercial & all other Residential)  
 Sept. 03, 2019

**MECHANICAL SUBCODE (NJAC 5:23-3.20)**  
 International Mechanical Code/2018/Sept. 03, 2019

**ONE- AND TWO-FAMILY DWELLING SUBCODE (NJAC 5:23-3.21)**  
 International Residential Code/2018, NJ ed (IRC w/ NJ edits from 3.21)  
 \* Corrected pages (NJ errata)  
 \* Corrected sections (ICC errata)  
 Other referenced I-Codes (ISPCS/2018, etc.)/Sept. 03, 2019

**FUEL GAS SUBCODE (NJAC 5:23-3.22)**  
 International Fuel Gas Code/2018/Sept. 03, 2019

**REHABILITATION SUBCODE (NJAC 5:23-6)**  
 NJUCC, Subchapter 6  
 Updated as Necessary  
 (current as of 08/20/18)  
 2018 I-code update coming soon

**BARRIER FREE SUBCODE (Chapter 11 of IBC/2018 & NJAC 5:23-7)**  
 ICC/ANSI A117.1-2009  
 Sept. 03, 2019

**ELEVATOR SUBCODE (NJAC 5:23-12)**  
 American Society of Mechanical Engineers (ASME)/Sept. 03, 2019

## OWNER:

Edgewater Beach Club  
 1465 Ocean Avenue  
 Sea Bright, New Jersey 07760

## ARCHITECT:

Michael James Monroe, R.A.  
 2000 LOWTHER DR  
 EATONTOWN, N.J. 07724

## APPROVALS

CHAIRMAN	DATE
SECRETARY	DATE
ENGINEER	DATE

## PROJECT DATA

USE GROUP - A-2  
 CONSTRUCTION CLASS - 5B

TOTAL AREA

SUNDECK- (N) 6,440 SQFT  
 SUNDECK VOLUME- (N) 32,200 CUFT

## LOCATION MAP:



## SYMBOL SCHEDULE

KEY	DESCRIPTION
---	EXISTING WALL TO REMAIN
- - -	EXISTING WALL TO BE REMOVED
=====	NEW STUD WALL
=====	NEW MASONRY WALL
=====	BRICK VENER
=====	FIRE BRICK
(E)	EXISTING
(N)	NEW
(R)	RELOCATED
(F)	FLUSH
⊕	GROUND FAULT PROTECTED OUTLET
⊕	WEATHERPROOF OUTLET
⊕	FLOOR/CEILING OUTLET
⊕	SWITCH OUTLET
⊕	DUPLEX OUTLET
⊕	QUAD OUTLET
⊕	TWO-POLE SWITCH
⊕	THREE-POLE SWITCH
⊕	FOUR-POLE SWITCH
⊕	DIMMER SWITCH
⊕	CHANDLIER FIXTURE
⊕	RECESSED FIXTURE
⊕	RECESSED HIGH INTENSITY FIXTURE -LOW VOLTAGE-
⊕	INCANDESCENT FIXTURE
⊕	HANGING PENDANT FIXTURE
⊕	EXHAUST FAN WITH LIGHT
⊕	WALL MOUNTED INCANDESCENT FIXTURE
⊕	SWITCHED WALL SCONCE

## DRAWING INDEX

T-1 COVER SHEET - PROJECT DATA, SYMBOL SCHEDULE, LOCATION MAP, DRAWING INDEX, SIGNAGE INFORMATION & PERSPECTIVE SKETCH

T-2 200 FT PROPERTY OWNERS LIST

A-2 SUNDECK PLANS, ELEVATIONS, DETAIL

## REVISIONS

NO.	DATE	DESCRIPTION

Michael J. Monroe  
 N.J. LIC. 1-10814

PRELIMINARY/FINAL MINOR - SITE PLAN PROPOSED SUNDECK  
**EDGEWATER BEACH & CABANA CLUB**  
 SEABRIGHT, NJ  
 MONMOUTH COUNTY  
 1465 OCEAN AVENUE

**MICHAEL JAMES MONROE**  
 • A R C H I T E C T •  
 2000 LOWTHER DR, EATONTOWN, N.J. (732) 219-9227

DATE	SCALE	AS NOTED	DWY BY	ISSUE
12-11-20			MJM	

PROJ # 1848-12

**T-1**  
 SH 1 OF 3



200' OWNERS LIST FOR BLOCK 4 LOT 6

Table with columns: BLOCK, LOT, QUAL, CLA, PROPERTY OWNER, PROPERTY LOCATION, Ass'd Lots. Page 1 of 8.

Table with columns: BLOCK, LOT, QUAL, CLA, PROPERTY OWNER, PROPERTY LOCATION, Ass'd Lots. Page 2 of 8.

Table with columns: BLOCK, LOT, QUAL, CLA, PROPERTY OWNER, PROPERTY LOCATION, Ass'd Lots. Page 3 of 8.

BOROUGH OF SEA BRIGHT OFFICE OF THE MUNICIPAL CLERK 1099 OCEAN AVENUE SEA BRIGHT, NJ 07760 732-842-0099 EXT. 119. Information requested for properties located within 200' of Block 4, Lot 6, also known as 1465 Ocean Avenue. MUST SEND NOTICES TO THE UTILITIES AND APPROPRIATE GOVERNMENTAL AGENCIES NOTED BELOW.

Table with columns: BLOCK, LOT, QUAL, CLA, PROPERTY OWNER, PROPERTY LOCATION, Ass'd Lots. Page 4 of 8.

Table with columns: BLOCK, LOT, QUAL, CLA, PROPERTY OWNER, PROPERTY LOCATION, Ass'd Lots. Page 5 of 8.

Table with columns: BLOCK, LOT, QUAL, CLA, PROPERTY OWNER, PROPERTY LOCATION, Ass'd Lots. Page 6 of 8.

Table with columns: BLOCK, LOT, QUAL, CLA, PROPERTY OWNER, PROPERTY LOCATION, Ass'd Lots. Page 7 of 8.

Table with columns: BLOCK, LOT, QUAL, CLA, PROPERTY OWNER, PROPERTY LOCATION, Ass'd Lots. Page 8 of 8.

Table with columns: BLOCK, LOT, QUAL, CLA, PROPERTY OWNER, PROPERTY LOCATION, Ass'd Lots. Page 9 of 8.

Table with columns: BLOCK, LOT, QUAL, CLA, PROPERTY OWNER, PROPERTY LOCATION, Ass'd Lots. Page 10 of 8.

Table with columns: BLOCK, LOT, QUAL, CLA, PROPERTY OWNER, PROPERTY LOCATION, Ass'd Lots. Page 11 of 8.

REVISIONS table with columns for date and description.

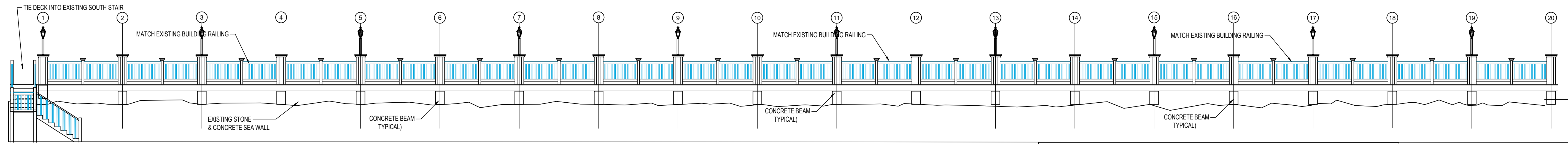
Handwritten signature and N.J. LIC. #10814.

PRELIMINARY/FINAL MINOR - SITE PLAN EDGEWATER BEACH & CABANA CLUB 1465 OCEAN AVENUE MONMOUTH COUNTY SEABRIGHT, NJ

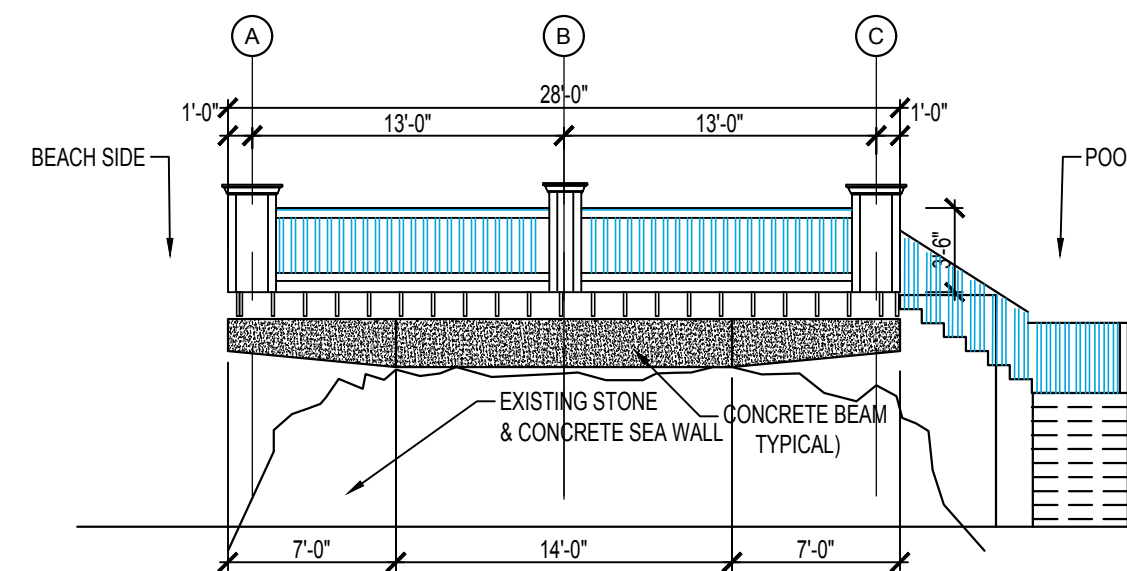
MICHAEL JAMES MONROE • A R C H I T E C T • 2000 LOWTHER DR, EATONTOWN, N.J. (732) 219-9227

Table with columns: DATE, SCALE, AS NOTED, DWN BY, M/S, ESSIE.

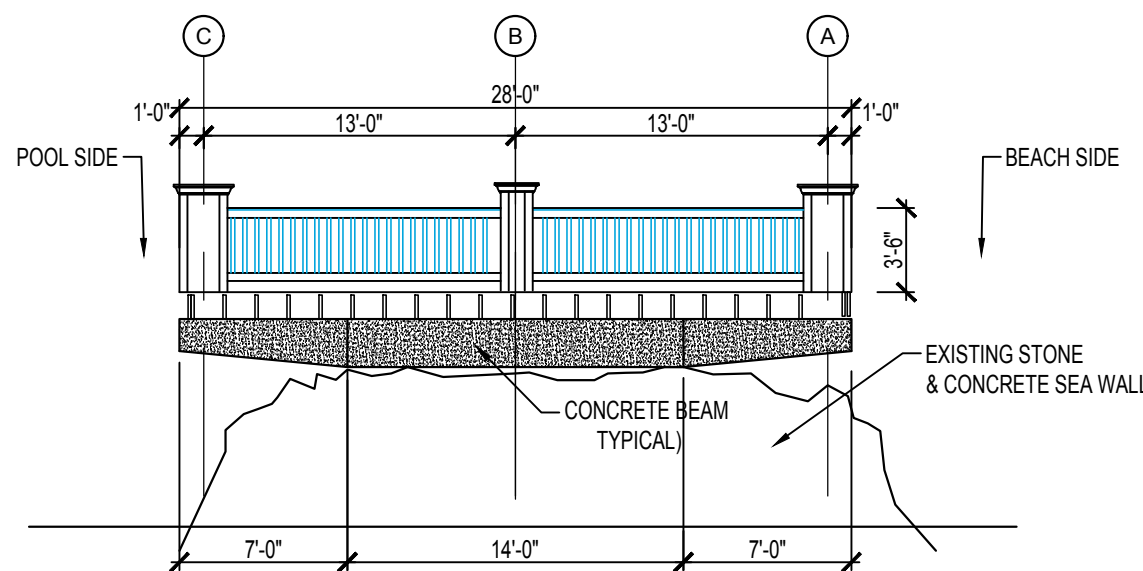




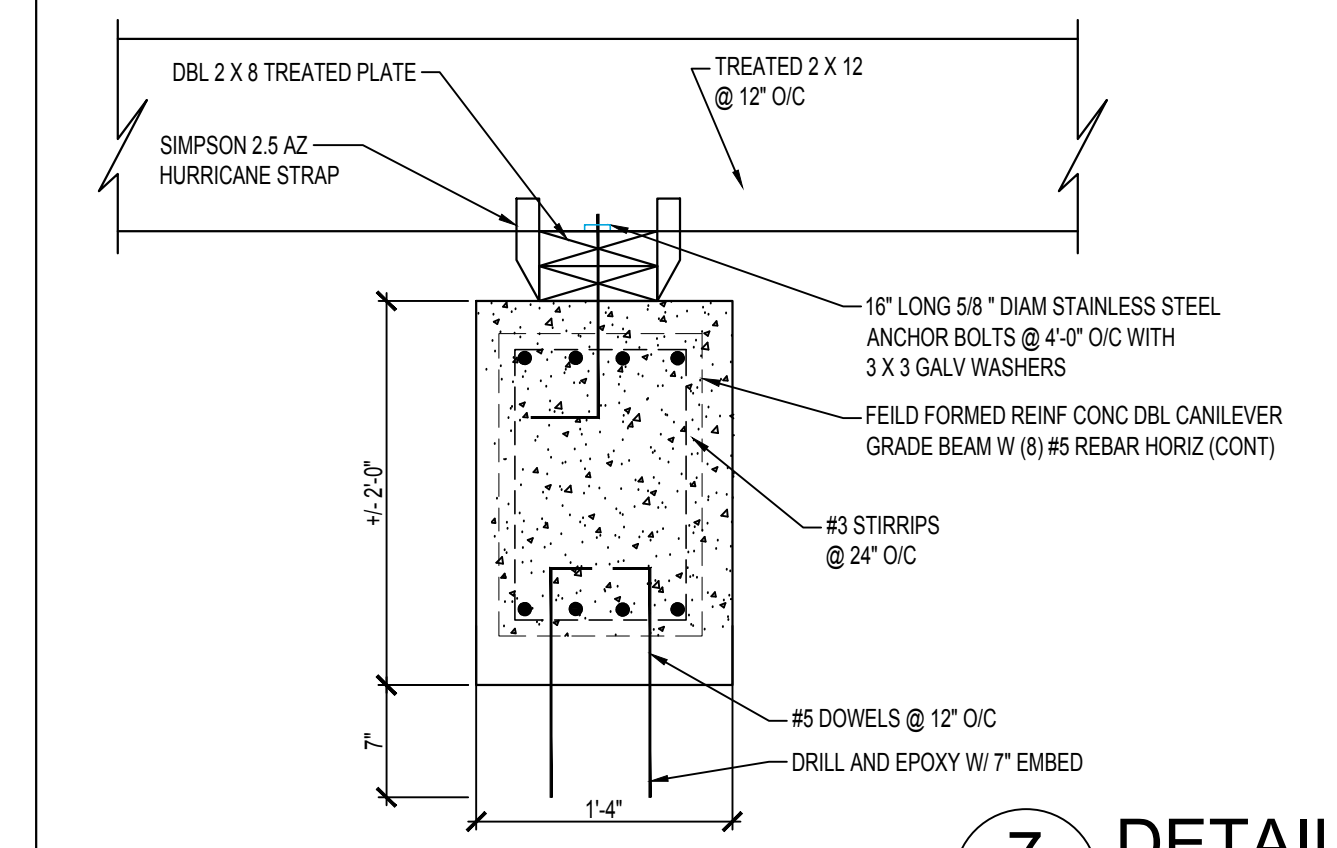
**6 EAST ELEVATION (BEACH SIDE)**  
A-2 SCALE: 1/8"=1'-0"



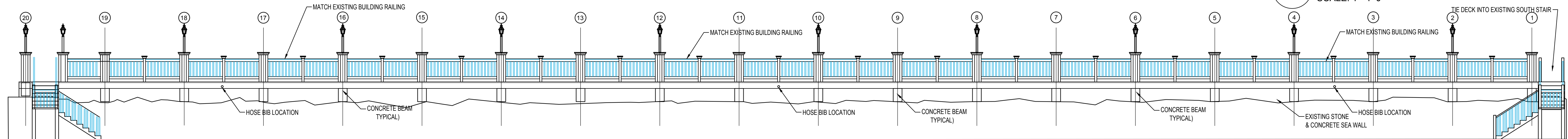
**4 NORTH ELEVATION**  
A-2 SCALE: 1/8"=1'-0"



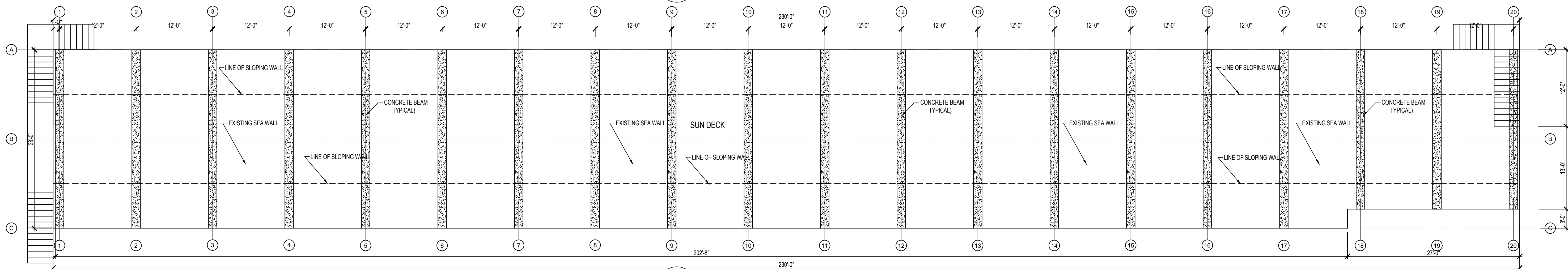
**5 SOUTH ELEVATION**  
A-2 SCALE: 1/8"=1'-0"



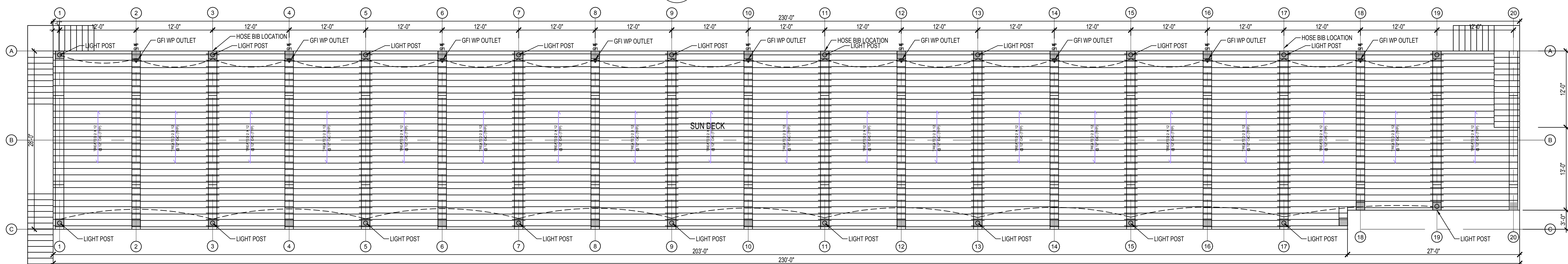
**7 DETAIL**  
A-2 SCALE: 1"=1'-0"



**3 WEST ELEVATION (POOL SIDE)**  
A-2 SCALE: 1/8"=1'-0"



**2 SUN DECK PLAN (FOUNDATION)**  
A-2 SCALE: 1/8"=1'-0"



**1 SUN DECK PLAN (STRUCTURE) & (ELECTRICAL)**  
A-2 SCALE: 1/8"=1'-0"

REVISIONS


PROPOSED NEW SUNDECK FOR:  
**EDGEWATER BEACH & CABANA CLUB**  
SEABRIGHT, NJ  
N.J. LIC. 10814

1465 OCEAN AVE

**MICHAEL JAMES MONROE**  
• A R C H I T E C T •  
2000 LOWTHER DR. EATONTOWN, N.J. (732) 219-9227

DATE: 12-10-20  
SCALE: AS NOTED  
DWN BY: MS  
ISSUE:

PROJ # 1848-12

**A-2**

SH 3 OF 3