SPECIFICATIONS:

BIDDING REQUIREMENTS, CONTRACT FORMS, AND CONDITIONS OF THE CONTRACT

<u>**00100 Instructions to Bidders:**</u> Each Bidder shall visit the site of the proposed work and fully acquaint himself with the conditions as they exist in order that the restrictions attending the work are understood. All areas and dimensions are indicated on the drawings as accurately as possible, but all conditions shall be verified by each Contractor and/or Subcontractor at the site. The failure of any Bidder to examine or receive any form, instrument or document or to visit the site shall not relieve the Bidder from any obligation with respect to his bid. The submission of a bid shall acknowledge that the Contractor and his subcontractors have fully examined the site and know the existing conditions and has made provisions for operating under the conditions as they exist at the site and has included all necessary items.

Structural Data: (Loads indicated are in pounds per square foot and were used to design structural members)

First Floor/Live Load :100 (Deck area) Dead Load: 10 Total Load: 110

Special Loads: Wind loads Maximum +48.4 p.s.f.

Soil Bearing Capacity: All attachments are on top of existing sea wall 3000 psf design load; refer to Section 02010 for Contractor requirements

SPECIFICATION SECTIONS

DIVISION 1 - GENERAL REQUIREMENTS

<u>01010 Summary of Work</u>: The work shall include constructing a new concrete and wood framed sun deck on the existing sea at Edgewater Beach Club. The decking and railing details are intended to match those on the main building. The access stairs will be reconstructed to be flush with the new deck structure with 7" max risers and 11" treads. The deck will have electric outlets and lighting and will have hose bibs run to several

<u>01012 Work by Others:</u> The Owner will have work performed under separate contracts, concurrently, with the work of this contract. Contractor shall permit access to the project to these contractors to perform their work.

<u>01018 Owner Furnished Items:</u> The following items will be supplied by the Owner and shall be installed by the Contractor: Some allowance items to be determined: Installation shall include providing the necessary wiring, piping, fasteners, supports, etc.; cutting holes, etc.

01020 Allowances: The amount of each allowance includes the cost of the product to the Contractor, less any applicable trade discounts and applicable taxes. In addition to each allowance, include in the contract sum the Contractor's cost for: delivery to and handling at the site, protection, labor for installation and finishing, other expenses required to complete the installation and finishing, other expenses required to complete the installation and the Contractor's overhead and profit. Specific allowance are included within the various Divisions. Where an allowance is based upon a unit of measure (square yard, lineal foot, cubic inch, etc.), the actual quantity of the product installed shall serve as the basis for adjusting the contract sum. Where the characteristics of the product require the purchase of more material than will be installed, the cost of the additional material shall be included in the contract sum.

<u>01310 Schedules, Reports, Payments:</u> Submit request for payment once each month using A.I.A. Form G702.

<u>01051 Existing Conditions</u>: All conditions and dimensions shall be verified by the Contractor prior to the start of construction. It is the Contractor's responsibility to report, in writing, significant variations or discrepancies of the conditions noted or implied, to the Architect, immediately upon discovery of such conditions.

<u>01060 Regulatory Requirements</u>: These contract documents were prepared in accordance with the New Jersey Uniform Construction Code, and 2018 International Building Code. The Contractor shall conform to this and other applicable local, county, state and federal codes, laws and requirements, and FEMA regulations. Structure is in a V flood zone elevation.

of Occupancy and all other required permits or licenses. Contractor is responsible for obtaining all local inspections and permits prior to construction <u>01090 Definition and Standards:</u> The term "provide" means furnish and install, complete, and

01063 Permit Fees: The Contractor shall apply and pay for the Construction Permit, Certificate

01340 Shop Drawings, Project Data and Samples: Submit shop drawings, samples, product data to the Architect. Work of the affected section shall not proceed until the Architect has reviewed and accepted submittals. Schedule a minimum of 14 days for Architect's review and

ready for intended use, as applicable in each instance. The term "Architect": shall mean

01070 Schedule of Values: Contractor shall submit to Architect a Schedule of Values within

<u>01500 Temporary Facilities:</u> Temporary water and power are available at the site and shall be

provided by contractor. Contractor shall provide temporary sanitary facilities. 01700 Project Closeout: Remove all debris from site, clean windows, floors, and other sed surfaces and remove labels. "Clean" is defined to mean that which is expected for a first class building cleaning and maintenance program. Provide Owner with Certificate of

Occupancy and general operating/maintenance instructions for all installed equipment.

01740 Warranties and Bonds: The Contractor shall guarantee all labor and materials used in this project for a period of one (1) year commencing from the date of the issuance of the Certificate of Substantial Completion. Any deficiencies that become evident during this one (1) year period, shall be corrected at the Contractor's expense.

DIVISION 2 - SITEWORK

Michael J. Monroe, Registered Architect.

<u>02010 Subsurface Investigation:</u> Contractor shall investigate the subsurface to ensure the soil has a safe bearing capacity of 3000 pounds (1 1/2 tons) per square foot. Footing elevations shall be adjusted to the actual levels of accepted bearing strata found upon excavation. Notify Architect of any unusual conditions.

Frost and Slope Protection: Bottom of exterior footing shall be minimum of 3'-0" below ished grade for erosion protection. Maximum slope between the bottom of adjacent footings shall be one vertical to two horizontal.

<u>02050 Shoring and Bracing:</u> Contractor shall fully brace and otherwise protect all work in progress until building is completed. Provide all necessary guying work and bracing required to erect and hold the building frame in alignment until all walls, floors and roof deck are installed.

<u>02000 Earthwork:</u> Excavate as required to install footings & to maintain finished floor elevation. Backfill with clean soil, free of deleterious materials. Finish grade around new addition and slope grade away from building. Compact soil in areas to receive concrete floors or slabs to 95%. This must be done in lifts and compacted every 12 inches.

<u>02514 Portland Cement Concrete Paving:</u> Concrete sidewalks, ramps, footings, walls, and slabs, and slabs to be minimum 4000 psi. Concrete curbing to be minimum 4000 psi. Provide weld wire mesh (ATSM A-185) in all walks, ramps and slabs. Provide expansion joints at intervals not to exceed 20'-0" and provide scoring pattern as indicated on drawings, if not indicated as directed by Architect in field. Provide white concrete in location where indicated on drawings. Broom finish horizontal surfaces for barrier-free accessibility

DIVISION 3 - CONCRETE

03310 Concrete Work: Provide reinforcing bars conforming to ASTM A-615, Grade 60 (new billet steel) and welded wire mesh conforming to ASTM A-185 of sizes indicated on drawings. Bars marked continuous shall be lapped 40 times the bar diameter at splices and corners and hooked at non-continuous ends. Lap top bars at the center between supports and lap continuous bottom bars at supports. Provide supports for reinforcement, including chairs, bolsters, spacers, etc. as required or indicated on drawings.

<u>Cast-in-Place Concrete</u>: All footing and slabs shall be minimum 4000 psi or as indicated on drawings. Cement content shall be minimum of 5.75 bags per cubic yard. Trowel finish all exposed-to-view surfaces or surfaces to be covered with resilient flooring or carpet. Concrete exposed to weather shall be air entrained. Slump shall be four inches. All work, mixing and testing shall be in accordance with ACI Code, 318-77. Placement of concrete in cold weather shall conform to ACI 306-72 and placement of concrete in hot weather shall conform to ACI 305-77. Submit all reports to Architect.

DIVISION 5 - METALS

<u>05120 Structural Steel</u>: Provide steel shapes, plates and bars conforming to ASTM A-36 (Fs = 24,000 psi). Shop paint all steel, except those embedded in concrete and contact areas to be welded. All shop connections shall be welded, or high strength bolted. Field connections shall be high strength bolted. Comply with the AWS Code for welding procedures, and AISC codes and specifications for fabrication and erection. Submit shop drawings for acceptability prior to erection. Allow two weeks for shop drawing approval

DIVISION 6 - WOOD AND PLASTICS

06100 Rough Carpentry

06200 Finish Carpentry

<u>Lumber:</u> All deck framing lumber shall be #1 treated southern yellow pine.

<u>Plywood:</u> Provide 1/2" plywood backer boards for new electrical panels where required. Wall Sheathing: 1/2" CDX plywood

Exterior Finish Carpentry: Provide exterior trim to match the existing main building and as per owners direction and a per the construction documents. All exterior trim to be match main

DIVISION 15 - PLUMBING & HEATING, VENTILATING & AIR CONDITIONING

These construction documents do not include the design of plumbing and heating, ventilation and air conditioning systems. The Architect assumes no responsibility for their design. The entire building is seasonal use and is unheated and un-cooled except for the kitchen, bar, tea room and second floor offices.

15400 Plumbing Systems: Provide and install all required piping for the sanitary drainage, cold and hot water supply and natural gas supply. Obtain all required permits, inspections and approvals. Coordinate all work with the General Contractor and the applicable utility ompanies. The entire installation shall comply with the National Standard Plumbing Code, State Codes and local ordinances and the local gas company and water company.

15410 Hot and Cold Water Piping: Above ground piping shall be pex water service grade

15411 Soil and Waste Piping Systems: All waste piping under concrete shall be service weight cast iron soil pipe, Schedule 40 ABS. All above ground waste and vent piping shall be Schedule 40 PVC with DWV type fittings.

DIVISION 16 - ELECTRICAL

16000 ELECTRICAL: These construction documents do not include the design of any electrical systems. The Architect assumes no responsibility for their design.

16050 Basic Materials and Methods: Provide and install all required wiring for the exterior electrical service to the building. Obtain all required, inspections, and approvals. Coordinate all work with the General Contractor and the applicable utility companies. The entire installation shall comply with the requirements of the National Electric Code, State Code and local ordinances and the local Electric Utility Company and the telephone company.

16400 Service and Distribution All wiring shall be MC cable wiring and shall be run in conduit when exposed Provide a new 200 amp single phase exterior sub-panel for the deck

16134 Outlet Boxes: Provide convenience outlets where shown on drawings. Outlets to be Hubbell, 3 wire grounding type, 20 amp, 120 volt AC, specification Grade 5360 type, or approval equal. Color of outlet and cover by Architect. All new outlets shall be GFCI protected and exterior outlets shall have weatherproof covers

16472 Branch Circuits: Arrange circuits as shown. Size wiring for circuit layouts. Provide ground fault protection circuits as required by code. All wiring shall be copper MC cable. Exposed wiring shall be run in conduit or can be EMT conduit.

16490 Switches: Provide switches where shown on drawings. Switches to be Hubbell toggle type, 20 amp, 120 volt AC, specifications grade 1221 type or approved equal. Color of switch and cover by Architect.

16520 Emergency Lighting System: Provide emergency lighting system at locations shown plan. Provide battery pack-type units as manufactured by Dual Lite, Newtown, Conn., Model #EZ-2.1 Exit lights shall be McPhilben Compact 50 Line Directional Signs

END OF SPECIFICATIONS -



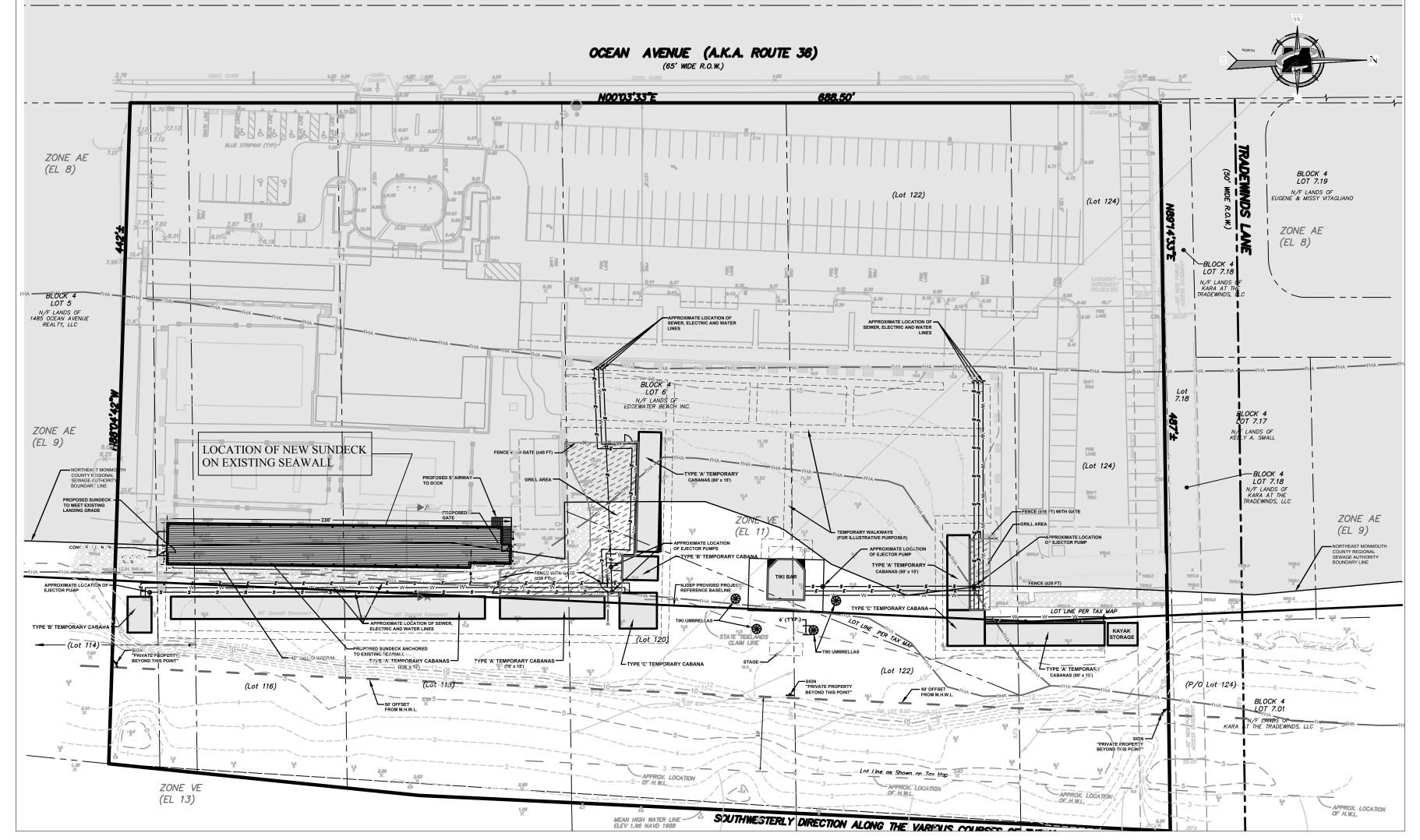


SITE PLAN INFO TAKEN FROM CAFRA

PLAN DATED 3-12-18 BY MASER CONSULTING

AND POST GRADING OF THE BEACH PLAN

BY CHARLES SURMONTE DATED 6-12-19



APPLICABLE CODES BUILDING SUBCODE (NJAC 5:23-3.14) International Building Code/2018, NJ ed (IBC w/ NJ edits from 3.14) * Corrected pages (NJ errata) * Corrected sections (ICC errata) Other referenced I-Codes (IFC/2018; ISPSC/2018; etc.) Other referenced ICC Standards (ICC/ANSI A117.1-2009; ICC 300-2017; etc.)Sept. 03, 2019 PLUMBING SUBCODE (NJAC 5:23-3.15) National Standard Plumbing Code/2018, NJ ed (NSPC w/ NJ edits from 3.15)Sept. 03, 2019 **ELECTRICAL SUBCODE** (NJAC 5:23-3.16) National Electrical Code (NFPA 70)/2017 (link provides access to all NFPA standards)Sept. 03, 2019 ENERGY SUBCODE (NJAC 5:23-3.18) International Energy Conservation Code/2018 (Low-Rise Residential) ASHRAE 90.1-2016 (Commercial & all other Residential) Sept. 03, 2019 **MECHANICAL SUBCODE** (*NJAC 5:23-3.20*)

	B-3 O	CEANFRONT BUSINESS	ZONE		
ORDINANCE	STANDARD	REQUIRED	EXISTING	PROPOSED	COMPLIES
	MIN. LOT AREA (SF)	50,000	327,527.7	327,527.7	-
130-49(C)(6)(B) [1]	MIN. LOT WIDTH (FT)	125	688	688	-
	MIN. LOT DEPTH (FT)	25	442	442	-
	PRINCIPAL BUILDING				
	MIN. FRONT YARD SETBACK (FT)	25	102.6	102.6	
	MIN. REAR YARD SETBACK (FT)	10	+-193	+-193	
	MIN. SIDE YARD SETBACK				
	ONE SIDE (FT)	20	15.4	15.4	EXISTING
	BOTH SIDES (FT)	40	85.5	85.5	-
	MAX. BUILDING HEIGHT (FT)	35FT	35FT	35FT	-
	MAX. BUILDING HEIGHT (STORIES)	3ST	3ST	3ST	
	MAX SEA WALL DECK SIZE	20	230	230	VARIANCE
	MAX. BUILDING COVERAGE (%)	20%	7.9% (25,729	7.9% (25,729	
	MAX. IMPERVIOUS COVERAGE (%)	40%	44.9% (147,130)	44.9% (147,130)	EXISTING
	PARKING REQUIREMENTS	108	247	247	
	MIN. PARKING SIZE (FT)	9X18	9X18	9X18	-
	MIN. DRIVE AISLE WIDTH	24	24	24	-

PROJECT DATA GENERAL NOTES

ALL CONSTRUCTION TO CONFORM TO THE 2018 INTERNATIONAL BUILDING CODE, LOCAL BUILDING CODE & FEMA REGULATIONS.

CONCRETE TO BE 4000PSI @ 28 DAYS.

FINISHED GRADES ARE APPROXIMATE, SUIT TO ACTUAL SITE CONDITIONS

VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT IMMEDIATELY IF ANY DISCREPANCIES OR UNUSUAL CONDITIONS ARE FOUND.

International Mechanical Code/2018Sept. 03, 2019

* Corrected pages (NJ errata)

NJUCC, Subchapter 6

2018 I-code update

coming soon

Sept. 03, 2019

Updated as Necessary

(current as of 08/20/18)

ICC/ANSI A117.1-2009

* Corrected sections (ICC errata)

FUEL GAS SUBCODE (NJAC 5:23-3.22)

ELEVATOR SUBCODE (*NJAC 5:23-12*)

International Fuel Gas Code/2018Sept. 03, 2019

REHABILITATION SUBCODE (NJAC 5:23-6)

ONE- AND TWO-FAMILY DWELLING SUBCODE (NJAC 5:23-3.21)

BARRIER FREE SUBCODE (Chapter 11 of IBC/2018 & NJAC 5:23-7)

American Society of Mechanical Engineers (ASME)Sept. 03, 2019

OWNER:

Edgewater Beach Club

1465 Ocean Avenue

Other referenced I-Codes (ISPSC/2018; etc.)Sept. 03, 2019

nternational Residential Code/2018, NJ ed (IRC w/ NJ edits from 3.21)

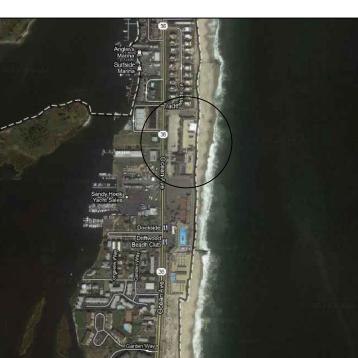
USE GROUP -

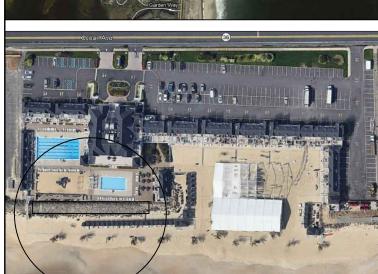
CONSTRUCTION CLASS - 5B

TOTAL AREA

SUNDECK- (N) 6,440 SQFT SUNDECK VOLUME- (N) 32,200 CUFT

LOCATION MAP:





Sea Bright, New Jersey 07760 KEY DESCRIPTION ARCHITECT:

Michael James Monroe, R.A. 2000 LOWTHER DR EATONTOWN, N.J. 07724

APPROVALS

CHAIRMAN SECRETARY DATE

ENGINEER DATE

SYMBOL SCHEDULE

EXISTING WALL TO REMAIN

NEW STUD WALL

NEW MASONRY WALL BRICK VENEER

FIRE BRICK (E) EXISTING NEW

> RELOCATED FLUSH GROUND FAULT PROTECTED OUTLET

WEATHERPROOF OUTLET FLOOR/CEILING OUTLET SWITCH OUTLET

DUPLEX OUTLET QUAD OUTLET TWO-POLE SWITCH

THREE POLE SWITCH FOUR POLE SWITCH

\$□M DIMMER SWITCH CHANDELIER FIXTURE

RECESSED FIXTURE RECESSED HIGH INTENSITY FIXTURE -LOW VOLTAGE-

INCANDESCENT FIXTURE

HANGING PENDANT FIXTURE

EXHAUST FAN WITH LIGHT WALL MOUNTED INCANDESCENT FIXTURE

SWITCHED WALL SCONCE

DRA WING INDEX

T-1 COVER SHEET - PROJECT DATA, SYMBOL SCHEDULE, LOCATION MAP, DRAWING INDEX, SIGNAGE INFORMATION & PERSPECTIVE SKETCH

T-2 200 FT PROPERTY OWNERS LIST

A-2 SUNDECK PLANS, ELEVATIONS, DETAIL

REVISIONS

PROJ # 1848-12

200' OWNERS LIST	FOR BLC	OCK 4 LOT 6		
	SEA BRIGHT	O W N E R & A D D R E S S R E P O R T 12/28/20 Page 4 of 8	SEA BRIGHT	OWNER&ADDRESSREPORT 12/28/20 Page 7 of 8
OWNER&ADDRESSREPORT		200 FOOT OWNERS LIST FOR BLOCK 4, LOT 6		00 FOOT OWNERS LIST FOR BLOCK 4, LOT 6
SEA BRIGHT 12/28/20 Page 1 of 9 200 FOOT OWNERS LIST FOR BLOCK 4, LOT 6	8 BLOCK LOT QU 3.02 51	AL CLA PROPERTY OWNER PROPERTY LOCATION Add'I Lots 2 ROURE, JUAN D. & DAVID, LYDIA 1340 OCEAN AVENUE UNIT 51 1340 OCEAN AVENUE UNIT 51 SEA BRIGHT, NJ 07760	BLOCK LOT QUAL CL 3.13 17	A PROPERTY OWNER PROPERTY LOCATION Add'I Lots 2 JORDAN, CLIFFORD & CAROL 1382 OCEAN AVENUE UNIT 7C SEABRIGHT, N 07760
BLOCK LOT QUAL CLA PROPERTY OWNER PROPERTY LOCATION Add'I Lots 3 8 4A NAVES DISK PARTINERS, LLC 1410 OCEAN AVENUE 8.01, 8.02 & 8.04	3.02 52	2 HABIB, WAFIK E. & SUZY A. 1340 OCEAN AVENUE UNIT 52	3.13 18	2 KOREIVA, CATHERINE & LINAS 1382 OCEAN AVENUE UNIT 8C 3 MOZART AVENUE
14:10 OCEAN AVENUÉ SEA BRIGHT, NJ 07760 3 9 2 BPC, MARINA, LLC 1390 OCEAN AVENUE	3.02 53	2 DEFONZO, STEPHAN 1340 OCEAN AVENUE UNIT 53	3.14 1	LITTLE FALLS, NJ 07424 2 MACCHIARELLI, LOUIS & MARIANNE 1382 OCEAN AVENUE UNIT 9B 1382 OCEAN AVENUE UNIT 9B SEA BRIGHT, NJ 07760
1410 OCEAN AVENUE SEA BRIGHT, NJ 07760 3 10.04 1 YACHT HARROR HOMEOWNERS ASSOCIATION 1382 OCEAN AVENUED 01.10.02 & 10.03	3.02 54	WĂYÑĖ, PÄ 19087 2 CHOJNOWSKI. TED J. 1340 OCEAN AVENUE UNIT 54 1340 OCEAN AVENUE UNIT 54 SEA BRIGHT, NJ 07760	3.14 2	SEA BRIGHT, NJ 07760 2 SENIUS, SKYLAR & KIMBERLY 1382 OCEAN AVE UNIT 10B 1382 OCEAN AVE UNIT 10B SEA BRIGHT, NJ 07760
1382 OCEAN AVENUE SEA BRIGHT, NJ 07760	3.02 55		3.14 3	2 DENT. ROBERT M. 1382 OCEAN AVE UNIT 11B
3 11 2 DRAZIN LOUIS M. & DCC II, LLC 1370 OCEAN AVENUE 11.01 PO BOX 8909 RED BANK, NJ 07701	3.02 56	2 CLIFTON, GREGORY & DOREEN 1340 OCEAN AVENUE UNIT 55 1340 OCEAN AVENUE UNIT 55 SEA BRIGHT, NJ 07760 2 COWLAN, JANINE, M. 1340 OCEAN AVENUE UNIT 56	3.14 4	8 PATRIOTS WAY MIDDLETOWN, NJ 07748 2 SMITH, SERENA 1382 OCEAN AVE UNIT 12B
3 12 2 ARASIN, MARTIN & LINDA 1368 OCEAN AVENUE 1368 OCEAN AVENUE SEA BRIGHT, NJ 07760	3.02 57	127 RIDGE DRIVE MONTVILLE, NJ 07045	3.14 5	PO BOX 3132 SEA BRIGHT, NJ 07760
3 13 1 FOUNTAINS HOMEOWNERS ASSOCIATION 1340 OCEAN AVENUE 13.01 1340 OCEAN AVENUE 07760 SEA BRIGHT, NJ 07760		17 PRESCOTT PLACE FREEHOLD, NJ 07728		22 DOROTHY DRIVE PINE BUSH, NY 12566
3 14.01 1 TRADEWINDS HOMEOWNERS ASSOCIATION 1332 OCEAN AVENUE 14.02 1332 OCEAN AVENUE SEA BRIGHT, NJ 07760	3.02 58	2 GIRARDI, RICK A. & MARGARET A. 1340 OCEAN AVENUE UNIT 58 2 DEER CROSSING DRIVE FISHKILL, NY 12524	3.14 6	2 DEPAOLA VINCENT 1382 OCEAN AVE UNIT 16B 36 GLENVILLE ROAD EDISON, NJ 08817
3.01 1 2 TRINGOLA, DIANE B. 1340 OCEAN AVENUE UNIT 1 1340 OCEAN AVENUE UNIT 1 SEA BRIGHT, NJ 07760	3.02 59	2 RADLOF, GEORGE R & CONSTANCE 1340 OCEAN AVENUE UNIT 59 347 BEECHWOOD AVENUE MIDDLESEX, NJ 08846	3.14 7	2 FEASER, FRANCIS 1382 OCEAN AVE UNIT 17B 1382 OCEAN AVE UNIT 17B SEA BRIGHT, NJ 07760
3.01 2 2 JAKUBIK, TODD 1340 OCEAN AVENUE UNIT 2 15 BRISBANE HILL DRIVE COLTS NECK, NJ 07722	3.02 60	2 BITTNER, PATRICIA A & SMITH, JONATH 1340 OCEAN AVENUE UNIT 60 53 CANFIELD ROAD TYLER HILL, PA 18469	3.14 8	2 KIRSH, MICHAEL F. 1382 OCEAN AVE UNIT 18B 1382 OCEAN AVE UNIT 18B SEA BRIGHT, NJ 07760
3.01 3 2 1340 OCEAN HOLDINGS, LLC 1340 OCEAN AVENUE UNIT 3 6 WALTHAM DRIVE	3.02 61	2 GORAB, LISA 1340 OCEAN AVENUE UNIT 61 640 ST. MARKS AVENUE WESTFIELD, NJ 07090	3.14 9	2 1382 OCEAN AVENUE LLC 1382 OCEAN AVE UNIT 19B 207 THROWBRIDGE DRIVE SCOTCH PLAINS, NJ 07076
TINTON FALLS, NJ 07724 3.01 4 2 SCHNEIDER, RANDEE S. 1340 OCEAN AVENUE UNIT 4 1340 OCEAN AVENUE UNIT 4 SEA BRIGHT, NJ 07760	3.02 62	2 SANTIAGO, EDWARD & DALINA 1340 OCEAN AVENUE UNIT 62 1340 OCEAN AVENUE UNIT 28 SEA BRIGHT, NJ 07760	3.14 10	2 MG YACHT HARBOR, LLC 1382 OCEAN AVE UNIT 20B 604 LAUREL AVENUE WEST ALLENHURST, NJ 07711
	3.02 63	2 MILLER, MICHAEL & CANDICE 1340 OCEAN AVENUE UNIT 63 1340 OCEAN AVENUE UNIT 63 SEA BRIGHT, NJ 07760	3.14 11	2 DEPALMA, JANET 1382 OCEAN AVENUE UNIT 9C
3.01 5 2 KACHOOGIAN, GREGORY & JOYCE, ANN MA 1340 OCEAN AVENUE UNIT 5 1340 OCEAN AVENUE UNIT 5 SEA BRIGHT, NJ 07760 3.01 6 2 JESSUP, CAREN M. 1340 OCEAN AVENUE UNIT 6	3.02 64	SEA BRIGHT, NJ 07760 2 CHESNEY, PHILLIP P. & JANE A. 1340 OCEAN AVENUE UNIT 64 21-B TRIUMPH COURT	3.14 12	SEA BRIGHT, NJ 07760 2 COCUZZA, SAL VATORE A & NICHOLAS 1382 OCEAN AVE UNIT 10C 59B SANDRA CIRCLE,UNIT B3 WESTFIELD, NJ 07090
1340 OCEAN AVENUE UNIT 6 SEA BRIGHT, NJ 07760	3.10 1	EAST RUTHERFORD, NJ 07073	3.14 15	
1340 OCEAN AVENUE UNIT 7 SEA BRIGHT, NJ 07760	3.10 2	2 BERNSTEIN-KUCHNER, PHYLLIS 1332 OCEAN AVENUE UNIT 1 1332 OCEAN AVENUE UNIT 1 SEA BRIGHT, NJ 77600 2 GUREVIÇH, JEFFREY, & ELENA 1332 OCEAN AVENUE UNIT 2	3.14 16	2 CAMBRIA, ROBERT J. 1382 OCEAN AVE UNIT 11C 1382 OCEAN AVE UNIT 11C SEA BRIGHT, NJ 07760 2 HUGHES, ROBERT 1382 OCEAN AVE UNIT 12C
3.01 8 2 KAPUCIENSKI, EDWARD 1340 OCEAN AVENUE UNIT 8 1340 OCEAN AVENUE UNIT 8 SEA BRIGHT, NJ 07760	3.10 3	1332 OCEAN AVENUE UNIT 2 SEA BRIGHT, NJ 07760	3.14 17	2 HUGHES, ROBERT 1382 OCEAN AVE UNIT 12C 1382 OCEAN AVE UNIT 12C SEA BRIGHT, NJ 07760 1382 OCEAN AVE UNIT 15C
3.01 9 2 PANCHAL, NALIN & SUDHA 1340 OCEAN AVENUE UNIT 9 27 WILZETTE DRIVE MIDDLETOWN, NJ 07748		1332 OCEAN AVENUE UNIT 3 SEA BRIGHT, NJ 07760		1382 OCEAN AVE UNIT 15C SEA BRIGHT, NJ 07760
3.01 10 2 CURCIO, EMANUEL D. 1340 OCEAN AVENUE UNIT 10 1340 OCEAN AVENUE UNIT 10 SEA BRIGHT, NJ 07760	3.10 4	2 OCEAN AVENUE #4 LLC 1100 N KING ST DES0020412 WILMINGTON, DE 19884	3.14 18	2 GIGANTINO, CORL 1382 OCEAN AVE,UNIT 16C SEA BRIGHT, NJ 07760
3.01 11 2 SCHOSBERG, LANNY & MICHELE 1340 OCEAN AVENUE UNIT 11 11 ELDORADO DRIVE SUCCASUNNA, NJ 07876	3.10 5	2 SCHWALBENBERG PETER 1332 OCEAN AVENUE UNIT 5 26 SPEAR MILL ROAD CUSHING, ME 04563	3.14 19	2 MEOLA, JACK F. 1382 OCEAN AVE UNIT 17C 888 ARDSLEY LANE BRIDGEWATER, NJ 08807
3.01 12 2 KRUBITSKI, EVGENI & YANINA 1340 OCEAN AVENUE UNIT 12 1340 OCEAN AVENUE UNIT 12 SEA BRIGHT, NJ 07760				OWNER&ADDRESSREPORT
SEA BRIGHT, NJ 07760 OWNER&ADDRESSREPORT	OEA BRIGHT	OWNER&ADDRESSREPORT	SEA BRIGHT	00 FOOT OWNERS LIST FOR BLOCK 4, LOT 6
SEA BRIGHT 200 FOOT OWNERS LIST FOR BLOCK 4, LOT 6 12/28/20 Page 2 of the second secon	8 SEA BRIGHT	12/28/20 Page 5 of 8	BLOCK LOT QUAL CL	A PROPERTY OWNER PROPERTY LOCATION Add'I Lots
BLOCK LOT QUAL CLA PROPERTY OWNER PROPERTY LOCATION Add'I Lots	SEA BRIGHT	O W N E R & A D D R E S S R E P O R T 12/28/20 Page 5 of 8	3.14 20	2 ZOTTO, DENEEN 1382 OCEAN AVE UNIT 18C 1382 OCEAN AVE UNIT 18C SEA BRIGHT, NJ 07760
3.01 13 2 MIRABILE, ANGELA 1340 OCEAN AVENUE UNIT 13 47 CABBLESTONE BLVD MONROE TOWNSHIP, NJ08831		200 FOOT OWNERS LIST FOR BLOCK 4, LOT 6	3.14 21	2 STEPHENS, RICHARD & LAURIE 1382 OCEAN AVE UNIT 19C 22 MONMOUTH BLVD OCEANPORT, NJ 07757
3.01 14 2 BARSKY, JOEL F. & PHYLLIS 1340 OCEAN AVENUE UNIT 14 70 GLEN EAGLE DRIVE WATCHUNG, NJ 07069	BLOCK LOT QU 3.10 6		3.14 22	2 ROMANO, ANTHONY & ADLER MARTIN 1382 OCEAN AVE UNIT 20C 46 KINGS ROAD
3.01 15 2 BARSKY, PHYLLIS 1340 OCEAN AVENUE UNIT 15 70 GLEN EAGLE DRIVE WATCHUNG, NJ 07069	3.10 7	2 SHARMA, BINDU & SANJIV 1332 OCEAN AVENUE UNIT 6 1332 OCEAN AVENUE UNIT 6 SEA BRIGHT, NJ 07760 2 RHEE, WILLIAM C 1332 OCEAN AVENUE UNIT 7	4 5	LITTLE SILVER, NJ 07739 4A 1485 OCEAN AVENUE REALTY, LLC 1485 OCEAN AVENUE 5.03 & 5.04 1485 OCEAN AVENUE SEA BRIGHT, NJ 07760
3.01 16 2 TEITELBAUM, BRIAN & PATRICIA 1340 OCEAN AVENUE UNIT 16 64 WOODWILD WAY BERKLEY HEIGHTS. NJ 07922		31 HIGHLAND AVENUE RUMSON, NJ 07760	4 7.15	SEA BRÎGHT, NJ 07760 2 SUMAS, HELEN 19 TRADEWINDS LANE 46 SHALEBROOK DRIVE MORRISTOWN, NJ 07960
3.01 17 2 PLASNER, SCOTT & SAMANTHA 1340 OCEAN AVENUE UNIT 17	3.10 8	2 CUNNINGHAM, JOHN & DONNA L. 1332 OCEAN AVENUE UNIT 8 422 73 STREET BROOKLYN, NY 11209	4 7.16	
MT. LÄÜRÈE, NJ 08054 3.01 18 2 PLASNER, ISRAEL & JOAN 1340 OCEAN AVENUE UNIT 18 35 GLEN EAGLE DRIVE WATCHUNG, NJ 07069	3.10 9	2 MARAMONTE, GELARDINA C. & PAGANO, G. 1332 OCEAN AVENUE UNIT 9 1332 OCEAN AVENUE UNIT 9 SEA BRIGHT, NJ 07760	4 7.17	8 BENEDEK ROAD PRINCETON, NJ 08540
WATCHUNG, NJ 07069 3.01 19 2 MCKEE, THOMAS & URSZULA 1340 OCEAN AVENUE UNIT 19 32 MONONA AVENUE	3.10 10	2 HUANG, ANGIE & TOMMY 1332 OCEAN AVENUE UNIT 10 14 FOREST HILL DRIVE SPARTA, NJ 07871		23 TRADEWINDS LANE SEA BRIGHT, NJ 07760
RUTHERFORD, NJ 07070	3.11 11	2 1332-11 OCEAN AVENUE REALTY, LLC 1332 OCEAN AVENUE UNIT 11 %MAAS 78 HIGHVIEW TERRACE HAWTHORNE, NJ 07506	4 7.18	1 TRADEWINDS HOMEOWNERS ASSOCIATION I 25 TRADEWINDS LANE PO BOX 3003 SEA BRIGHT, NJ 07760
33 ANN STREET COLTS NECK, NJ 07722	3.11 12	2 TSANG, CHEUNG & CHUI 1332 OCEAN AVENUE UNIT 12 1332 OCEAN AVENUE UNIT 12 SEA BRIGHT, NJ 07760	4 7.19	2 MACHADO, ANTONIO & ISABEL 18 TRADEWINDS LANE 4 ROBBIE LANE MOUNTAINSIDE, NJ 07092
1340 OCEAN AVENUE, UNIT 21 SEA BRIGHT, NJ 07760	3.11 13	2 SANTIAGO DWARD 1332 OCEAN AVENUE UNIT 13 1332 OCEAN AVENUE UNIT 13 SEA BRIGHT, NJ 07760	4 7.20	2 CZUJKO, ANDREW & DONNA MARIE 16 TRADEWINDS LANE PO BOX 159 LITTLE SILVER, NJ 07739
3.01 22 2 SIMEONE, MARGUERITE E. 1340 OCEAN AVENUE UNIT 22 1340 OCEAN AVENUE UNIT 22 1340 OCEAN AVENUE UNIT 22 07760	3.12 1	SEA BRIGHT, NJ 07760 2 DE PALMA, JANET 1382 OCEAN AVENUE UNIT 1A 1382 OCEAN AVENUE UNIT 1A SEA BRIGHT, NJ 07760		
3.01 23 2 MC NEIL, JACQUELINE M. 1340 OCEAN AVENUE UNIT 23 1340 OCEAN AVENUE UNIT 23 SEA BRIGHT, NJ 07760	3.12 2	SEA BRIGHT, NJ 100 07760 2 FARRO, DEAN & PALERMO, LISA 1382 OCEAN AVENUE UNIT 2A 103 REGAL BLVD. LIVINGSTON, NJ 07035		
3.01 24 2 FREEMAN, MARISSA P 1340 OCEAN AVENUE UNIT 24 225 15T AVENUE MANASQUAN, NJ 08736	3.12 3			
3.01 25 2 MACCHIARELLI, LOUIS & MARIANNE 1340 OCEAN AVENUE UNIT 25 1340 OCEAN AVENUE UNIT 25 SEA BRIGHT, NJ 07760	3.12 4	2 CONDURSO, CHRISTOPHER 1187 OCEAN AVENUE UNIT 11 SEA BRIGHT, NJ 07760 2 DIGIORGIO, VINCENT & DIANE 1382 OCEAN AVENUE UNIT 4A		
3.01 26 2 OVERBYE THOMAS S. & PATRICIA 1340 OCEAN AVENUE UNIT 26 173 OAKLAND AVENUE STATEN ISLAND, NY 10310		198 REMSEN AVENUE AVENEL, NJ 07001		
3.01 27 2 SPEHAR, EDWARD & SUZANNE 1340 OCEAN AVENUE UNIT 27 581 INNER CIRCLE THE VILLAGES, FLORIDA 32162	3.12 5	2 TORRIONI, ANTHONY 1382 OCEAN AVENUE UNIT 5A 45 BLOOMFIELD AVE CALDWELL, NJ 07001		
THE VILLAGES, FLORIDA 32162 3.01 28 2 SANTIAGO, EDWARD & GJERGJI, DALINA 1340 OCEAN AVENUE UNIT 28 1340 OCEAN AVENUE UNIT 28 SEA BRIGHT, NJ 07760	3.12 6	2 TORRIONI, PHYLLIS 1382 OCEAN AVENUE UNIT 6A 1 LOMBARD DRIVE WEST CALDWELL, NJ 07006		
	3.12 7	2 QUINN, THOMAS 1382 OCEAN AVENUE UNIT 7A 1382 OCEAN AVENUE UNIT 7A SEA BRIGHT, NJ 07760		
3.01 29 2 SMIETANA, JOHN & BEVERLY 1340 OCEAN AVENUE UNIT 29 726 FIFTH STREET CARLSTADT, NJ 07072 3.01 30 2 LECKSTEIN, MARC A. 1340 OCEAN AVENUE UNIT 30	3.12 8	2 1382 OCEAN HOLDINGS, LLC 1382 OCEAN AVENUE UNIT 8A 6 WALTHAM DRIVE TINTON FALLS, NJ 07724		
1340 OCEAN AVENUE UNIT 30 SEA BRIGHT, NJ 07760	3.12 9	2 MIKHAIL, MAGDY 1382 OCEAN AVENUE UNIT 9A 1382 OCEAN AVENUE UNIT 9A SEA BRIGHT, NJ 07760		
3.01 31 2 HIGH, ALYSE 1340 OCEAN AVENUE UNIT 31 555 MILLER COURT WYCKOFF, NJ 07481	3.12 10	2 IMBRIANO, JOSEPH & GINA 1382 OCEAN AVE UNIT 10A		
	3.12 11	2 ARZADI, KARIM 1382 OCEAN AVE UNIT 11A		
O W N E R & A D D R E S S R E P O R T SEA BRIGHT 12/28/20 Page 3 of a	8	PĚRŤH ÄMBOÝ, NJ 08861		
200 FOOT OWNERS LIST FOR BLOCK 4, LOT 6		OWNER&ADDRESSREPORT		
BLOCK LOT QUAL CLA PROPERTY OWNER PROPERTY LOCATION Add'I Lots 3.01 32 2 PISAREK, ROBERT J. 1340 OCEAN AVENUE UNIT 32	SEA BRIGHT	200 FOOT OWNERS LIST FOR BLOCK 4, LOT 6		
1340 ÖCEAN ÄVENUE UNIT 32 SEA BRIGHT, NJ 3.02 33 2 KALAKA, ARTHUR 1340 OCEAN AVENUE UNIT 33	BLOCK LOT QU	AL CLA PROPERTY OWNER PROPERTY LOCATION Add'I Lots		
1104 MILLPOND COURT OSPREY, FL 34229	3.12 12	2 OCONNELL LINDA K 1382 OCEAN AVE UNIT 12A 1382 OCEAN AVE UNIT 12A SEA BRIGHT, NJ 07760		
%KALAKA 1104 MILLPOND CT OSPREY, FL 34229	3.12 15	2 AKOS, DEMETRIOS & CROCE, ROSANGELA 1382 OCEAN AVE UNIT 15A 1382 OCEAN AVE UNIT 15A SEA BRIGHT, NJ 07760		
3.02 35 2 PALERMO, LOUIS & CAMILLE 1340 OCEAN AVENUE UNIT 35 3420 SOUTH OCEAN BLVD 7R HIGHLAND BEACH, FL 33487	3.12 16	2 VIALLET, JEAN & MARIE C. 1382 OCEAN AVE UNIT 16A 16 THERESA DRIVE		
3.02 36 2 LAURO, JOHN & CATHERINE 1340 OCEAN AVENUE UNIT 36 1340 OCEAN AVE, UNIT 36 SEA BRIGHT, NJ 07760	3.12 17	MALVERN, PA 19355 2 CARLO, DENISE 1382 OCEAN AVE UNIT 17A 1417 BERKSHIRE AVENUE		
3.02 37 2 MADDEN, EILEEN 1340 OCEAN AVENUE UNIT 37 1340 OCEAN AVENUE UNIT 37 SEA BRIGHT, NJ 07760	3.12 18	2 ST. AMAND, ROBERT P. & JOANNE R. 1382 OCEAN AVE UNIT 18A		
3.02 38 2 SCARSI, ANDREW H JR & MANGINELLI, T 1340 OCEAN AVENUE UNIT 38 1 EL CO COURT	3.13 1	20 SOTTON PLACE CRANFORD, NJ 07016		
BĀYŌÑNĒ, ÑJ 07002 3.02 39 2 HERSHEY, JOEL & DARLENE 1340 OCEAN AVENUE UNIT 39 117 JOHNSTON DRIVE EXT WATCHUNG, NJ 07069		1382 OCEAN AVENUE,UNIT 1B SEA BRIGHT, NJ 07760		
WATCHUNG, NJ 07069 3.02 40 2 SCHUCKALO, PAUL & BARBARA 1340 OCEAN AVENUE UNIT 40 25 CABOT LANE KINNELON, NJ 07405	3.13 2	2 POLEGA, MICHAEL & ANGELA 1382 OCEAN AVENUE UNIT 2B 1382 OCEAN AVENUE SEA BRIGHT, NJ 07760		
KINNELON, NJ 07405 3.02 41 2 BIEBER, ERWIN W & JOANN 1340 OCEAN AVENUE UNIT 41 12 TRAADEWINDS LANE	3.13 3	2 SUNSETRIVERVIEW LLC 14 RIVERVIEW ROAD MONMOUTH BEACH, NJ 07750		
SEA BRIGHT, NJ 07/60	3.13 4	2 TEPER, RADISLAV & BROWN, ANNA 1382 OCEAN AVENUE UNIT 4B 1076 OCEAN AVENUE SEA BRIGHT, NJ 07760		
1340 OCEAN AVENUE UNIT 42 SEA BRIGHT, NJ 07760	3.13 5	2 LASALLE, ROBERT R & JENNIFER 1382 OCEAN AVENUE UNIT 5B		
3.02 43 2 FRISCH, PAUL & SUSAN 1340 OCEAN AVENUE UNIT 43 31 HIGHVIEW AVENUE NANUET, NY 10954	3.13 6	FŘÉĚHŌLĎ, ÑJ 07728 2 O'HARA, FRANCIS H 1382 OCEAN AVENUE UNIT 6B 1382 OCEAN AVENUE UNIT 6B SEÁ BRÍGHT, NJ 07760		
3.02 44 2 COYNE, BRIAN & JUDITH N 1340 OCEAN AVENUE UNIT 44 8 BEAVER DAM ROAD COLTS NECK, NJ 07722	3.13 7	SEA BRIGHT, NJ 100 07760 2 LIFETIME, LLC 115 SCARBOROUGH WAY MARLBORO, NJ 07746		
3.02 45 2 FOSTER, MICHELE 1340 OCEAN AVENUE UNIT 45 70 BLACK POINT ROAD RUMSON, NJ 07760	3.13 8			
3.02 46 2 KEATING, RYAN W. 1340 OCEAN AVENUE UNIT 46 1340 OCEAN AVENUE UNIT 46 SEA BRIGHT, NJ 07760	3.13 9	2 DENNEY, CHRISTOPHER & MC GANN, K. 1382 OCEAN AVENUE UNIT 8B 28 HOMESTEAD TERRACE SCOTCH PLAINS, N. 07076 2 PALLANTE, BARBARA C. 1382 OCEAN AVENUE UNIT 1C		
SEA BRIGHT, NJ 07760 3.02 47 2 DE LISIO, LOUIS & SUSAN 1340 OCEAN AVENUE UNIT 47 1340 OCEAN AVENUE UNIT 47 SEA BRIGHT, NJ 07760		11 PROVIDENT COURT OCEAN, NJ 07712		
	3.13 10	2 DUFFY DANIEL&DANNAMARIE& ZIEGENBALG 1382 OCEAN AVENUE UNIT 2C 1382 OCEAN AVENUE UNIT 2C SEA BRIGHT, NJ 07760		
1340 OCEAN AVENUE UNIT 48 SEA BRIGHT, NJ 07760	3.13 11	2 GONI, CLAUDIA 1382 OCEAN AVENUE,UNIT 3C SEA BRIGHT, NJ 07760		
1340 OCEAN AVENUE UNIT 49 SEA BRIGHT, NJ 07760 3.02 50 2 HANNA MIKE 1340 OCEAN AVENUE UNIT 50	3.13 12	2 DIGIORGIO, TERRI 1382 OCEAN AVENUE UNIT 4C 1382 OCEAN AVENUE UNIT 4C SEA BRIGHT, NJ 07760		
3.02 50 2 HANNA, MIKE 1340 OCEAN AVENUE UNIT 50 99 FRESH PONDS ROAD EAST BRUNSWICK, NJ 08816	3.13 15	2 TICHENOR, ERIC & MARIE 1382 OCEAN AVENUE UNIT 5C 1382 OCEAN AVENUE UNIT 5C SEA BRIGHT, NJ 07760		
•		CEA DEIGHT ALL 07700		
	3.13 16	SEA BRIGHT, NJ 07760 2 APRAHAMIAN, MARK & LINDA 1382 OCEAN AVENUE UNIT 6C 1382 OCEAN AVENUE UNIT 6C SEA BRIGHT, NJ 07760		

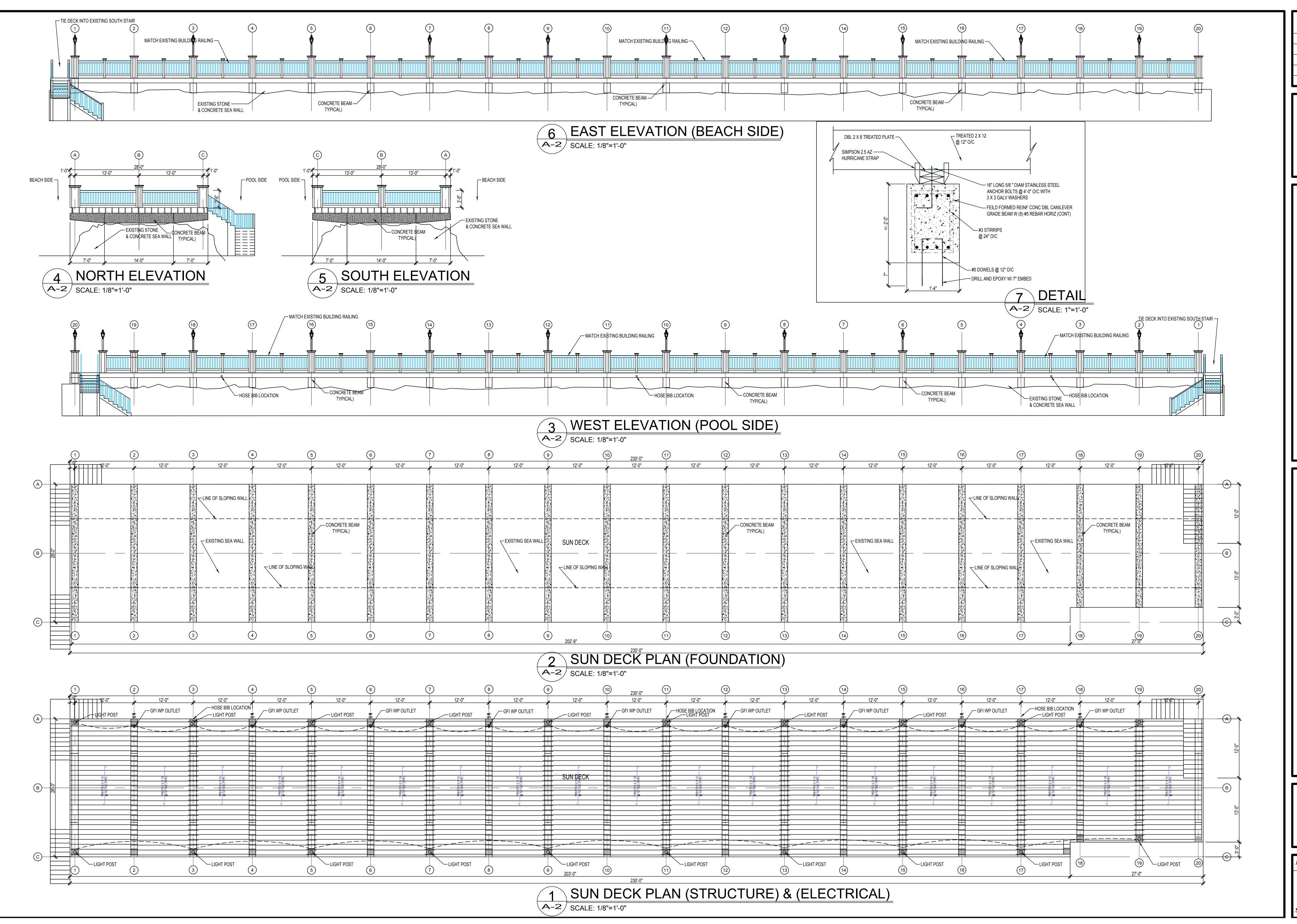
OWNED				BOROUGH OF SEA BRIGHT		
O W N E R & A D D R E S S R E P O R T SEA BRIGHT 12/28/20 Page 7 of 8				OFFICE OF THE MUNICIPAL CLERK 1099 OCEAN AVENUE		
200 FOOT OWNERS LIST FOR BLOCK 4, LOT 6			6	SEA BRIGHT, NJ 07760		
LOCK	LOTO	UAL CLA PROPERTY OWNER	PROPERTY LOCATION Add'I Lots		-842-0099 EXT. 119	
.13	17		1382 OCEAN AVENUE UNIT 7C			
		2 JORDAN, CLIFFORD & CAROL 1382 OCEAN AVENUE UNIT 7C SEABRIGHT, NJ 07760		Information requested for properties located with	in 200'of Block 4, Lot 6, also known as 1465 Ocean Avenue.	
.13	18	2 KOREIVA, CATHERINE & LINAS 3 MOZART AVENUE LITTLE FALLS, NJ 07424	1382 OCEAN AVENUE UNIT 8C	YOU MUST SEND NOTICES TO THE UTILITIES AND APPROPRIATE GOVERNMENTAL AGENCIES		
.14	1	2 MACCHIARELLI, LOUIS & MARIANNE 1382 OCEAN AVENUE UNIT 9B SEA BRIGHT, NJ 07760	1382 OCEAN AVENUE UNIT 9B	NOTED BELOW:		
.14	2	2 SENIUS, SKYLAR & KIMBERLY 1382 OCEAN AVE UNIT 10B SEA BRIGHT, NJ 07760	1382 OCEAN AVE UNIT 10B	Borough of Sea Bright 1099 Ocean Avenue Sea Bright, NJ 07760	State of New Jersey (for State Hwy 36) Commissioner, Department of Transportation 1035 Parkway Avenue	
.14	3	2 DENT, ROBERT M. 8 PATRIOTS WAY MIDDLETOWN, NJ 07748	1382 OCEAN AVE UNIT 11B		P.O. Box 600 Trenton, NJ 08625	
.14	4	2 SMITH, SERENA PO BOX 3132 SEA BRIGHT, NJ 07760	1382 OCEAN AVE UNIT 12B	Comcast Comcast Center	State of New Jersey (for Coastal Waters) Division of Coastal Resources	
.14	5	2 PICONE, ERNESTINE & LAURA 22 DOROTHY DRIVE PINE BUSH, NY 12566	1382 OCEAN AVE UNIT 15B	1701 John F Kennedy Blvd. Philadelphia, PA 19103	P.O. Box 401 Trenton, NJ 08625	
.14	6	2 DEPAOLA, VINCENT 36 GLENVILLE ROAD EDISON, NJ 08817	1382 OCEAN AVE UNIT 16B	New Jersey American Water Company 661 Shrewsbury Avenue	Two Rivers Water Reclamation Authority 1 Highland Avenue	
.14	7	2 FEASER, FRANCIS 1382 OCEAN AVE UNIT 17B SEA BRIGHT, NJ 07760	1382 OCEAN AVE UNIT 17B	Shrewsbury, NJ 07702	Monmouth Beach, NJ 07750	
.14	8	2 KIRSH, MICHAEL F. 1382 OCEAN AVE UNIT 18B SEA BRIGHT, NJ 07760	1382 OCEAN AVE UNIT 18B	New Jersey Natural Gas Company 1415 Wyckoff Road	Verizon 175 W. Main St	
.14	9	2 1382 OCEAN AVENUE, LLC 207 THROWBRIDGE DRIVE SCOTCH PLAINS, NJ 07076	1382 OCEAN AVE UNIT 19B	Wall, NJ 07719 Jersey Central Power & Light	Freehold, NJ 07728 Attn: Corporate Secretary/Right of Way Agent Monmouth County Planning Board	
.14	10	2 MG YACHT HARBOR, LLC 604 LAUREL AVENUE WEST ALLENHURST, NJ 07711	1382 OCEAN AVE UNIT 20B	Area Manager Central New Jersey 1500 Florance Avenue	Hall of Records Annex – 2 nd Floor 1 East Main Street	
.14	11	2 DEPALMA, JANET 1382 OCEAN AVENUE,UNIT 9C SEA BRIGHT, NJ 07760	1382 OCEAN AVENUE UNIT 9C	Union Beach, NJ 07735	Freehold, NJ 07728	
.14	12	2 COCUZZA, SALVATORE A & NICHOLA 59B SANDRA CIRCLE,UNIT B3 WESTFIELD, NJ 07090	S 1382 OCEAN AVE UNIT 10C	Attached is a true list of the Property Owners within 200' of Block 4, Lot 6, also known as 1465 Ocean Avenue in the Borough of Sea Bright as submitted by Sea Bright Tax Assessor Timothy Anfuso.		
.14	15	2 CAMBRIA, ROBERT J. 1382 OCEAN AVE UNIT 11C SEA BRIGHT, NJ 07760	1382 OCEAN AVE UNIT 11C			
.14	16	2 HUGHES, ROBERT 1382 OCEAN AVE UNIT 12C SEA BRIGHT, NJ 07760	1382 OCEAN AVE UNIT 12C			
.14	17	2 BRECKENRIDGE, KATHRYN P 1382 OCEAN AVE UNIT 15C SEA BRIGHT, NJ 07760	1382 OCEAN AVE UNIT 15C			
.14	18	2 GIGANTINO, CORI 1382 OCEAN AVE,UNIT 16C SEA BRIGHT, NJ 07760	1382 OCEAN AVE UNIT 16C			
.14	19	2 MEOLA, JACK F. 888 ARDSLEY LANE BRIDGEWATER, NJ 08807	1382 OCEAN AVE UNIT 17C			

REVISIONS

NARY/FINAL MINOR - BEACH &

EDGEWATER

PROJ # 1848-12



REVISIONS

May 1/2 March 10.3. LIC.-10814

PROPOSED NEW SUNDECK FOR:

EDGEWATER BEACH & CABANA CLUB

MICHAEL JAMES MONROE

A R C H I T E C T

DATE 12-10-20
SCALE AS NOTED
DWN BY MJS
ISSUE

PROJ# 1848-12

A-2