

THESE PLANS HAVE BEEN EXTRACTED FROM APPROVED BUILDING SYSTEMS FILED WITH THE STATE.

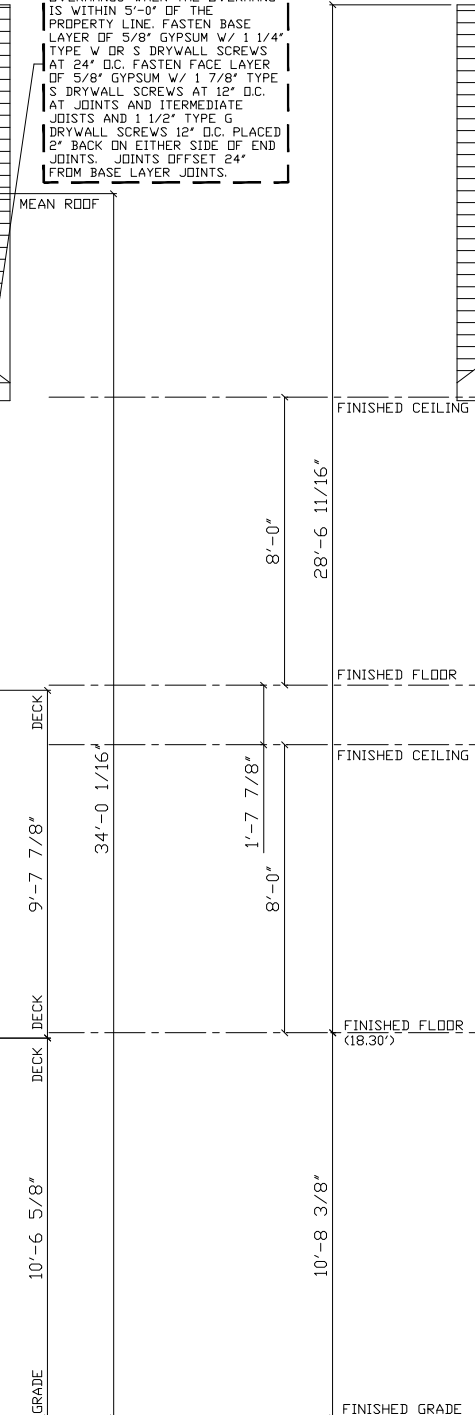
MINIMUM NET FREE AREA OF ATTIC VENTILATION REQUIRED: (SECT. R806.2)

25'-11 3/8" x 49'-0" = 1,271 SQ. FT.
 1,271 SQ. FT. / 300 SQ. FT. = 4.24 SQ. FT. REQUIRED NET FREE AREA VENTILATION FOR ENTIRE ATTIC
 4.24 SQ. FT. REQUIRED NET AREA VENTILATION / 2 (UPPER 50% AND LOWER 50%) = 2.12 REQUIRED NET FREE AREA
LOWER 50% OF ATTIC VENTILATION: (ON-SITE BY OTHERS)
 2.12 SQ. FT. REQUIRED NET FREE AREA VENTILATION LOWER 50% OF ATTIC
UPPER 50% OF ATTIC VENTILATION:
 2.12 SQ. FT. REQUIRED NET FREE AREA VENTILATION UPPER 50% OF ATTIC
 .125 NET FREE AREA PER LINEAR FOOT x 49'-0" LENGTH OF HOUSE = 6.125 SQ. FT. NET FREE AREA SUPPLIED
 *POWER VENT PROVIDED ON-SITE BY BUILDER

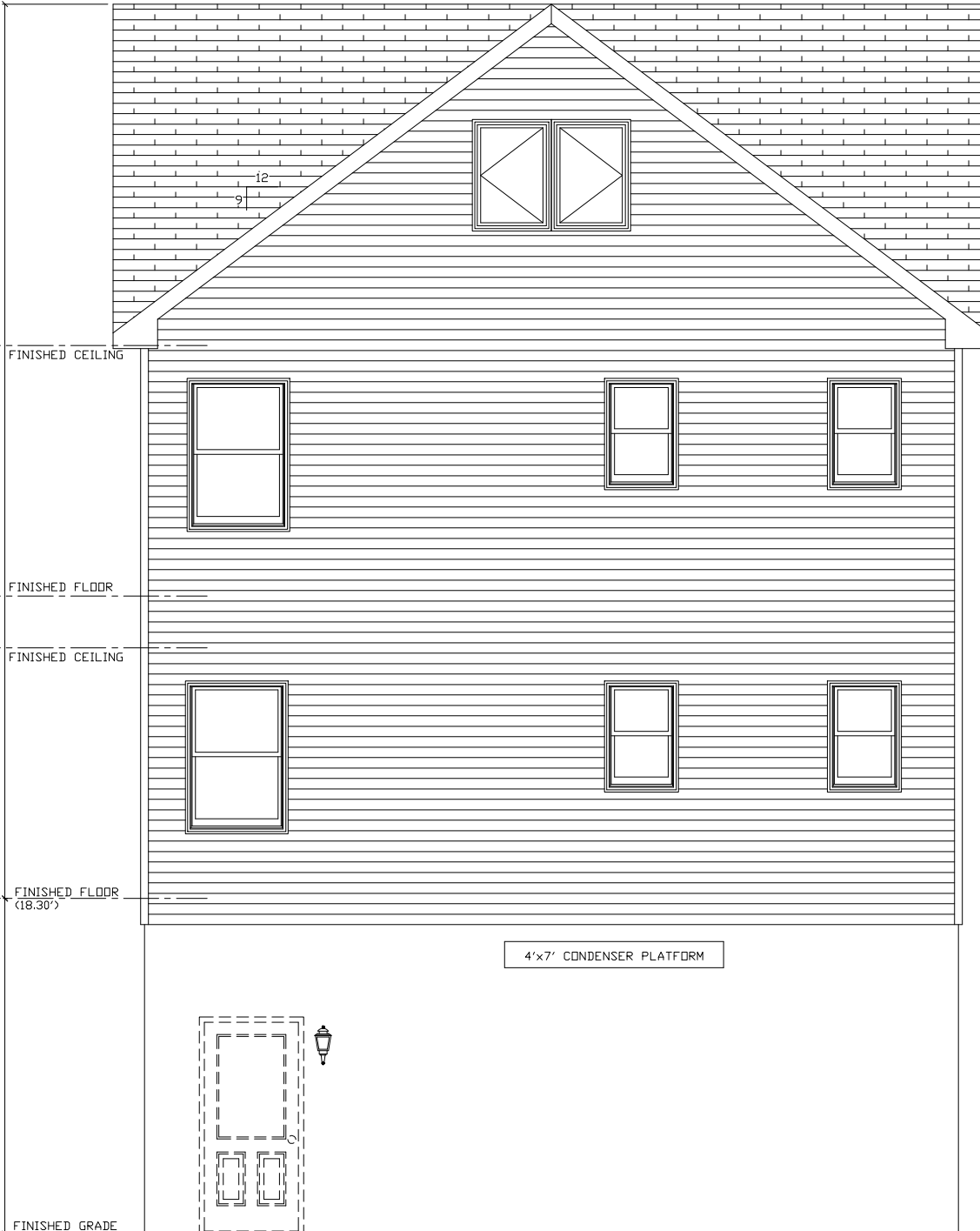
NOTE:
 A DOUBLE LAYER OF 5/8" TYP 'X' GYPSUM MUST BE INSTALLED ON THE UNDERSIDE OF THE OVERHANGS WHEN THE OVERHANG IS WITHIN 5'-0" OF THE PROPERTY LINE. FASTEN BASE LAYER OF 5/8" GYPSUM W/ 1 1/4" TYPE W OR S DRYWALL SCREWS AT 24" O.C. FASTEN FACE LAYER OF 5/8" GYPSUM W/ 1 7/8" TYPE S DRYWALL SCREWS AT 12" O.C. AT JOINTS AND INTERMEDIATE JOISTS AND 1 1/2" TYPE G DRYWALL SCREWS 12" O.C. PLACED 2" BACK ON EITHER SIDE OF END JOINTS. JOINTS OFFSET 24" FROM BASE LAYER JOINTS.



FRONT ELEVATION
 PORCH ROOF, DECK, STAIRS, RAILING, LANDING AND POSTS ON-SITE BY OTHERS



SHIPLOOSE SIDING



REAR ELEVATION

NOTE: ACTUAL HOUSE MAY VARY FROM ELEVATION

THE FOLLOWING ELEMENTS OF CERTIFICATION REQUIRED BY THE MANUFACTURER TO EXCLUDE EACH HOME ARE AS FOLLOWS:
 1) DESIGNATED ONLY FOR ERECTION ON A SITE-BUILT PERMANENT FOUNDATION
 2) NOT DESIGNED TO BE MOVED ONCE INSTALLED.
 3) DESIGNED AND MANUFACTURED TO COMPLY WITH NATIONALLY RECOGNIZED MODEL BUILDING CODE OR EQUIVALENT TO BUILDING CODES FOR ON-SITE HOUSING, OR WITH MINIMUM PROPERTY STANDARDS ADAPTED BY THE SECRETARY PURSUANT TO TITLE II OF THE NATIONAL HOUSING ACT, AND
 4) TO THE MANUFACTURER'S KNOWLEDGE IS NOT INTENDED TO BE USED OTHER THAN ON A SITE-BUILT PERMANENT FOUNDATION.

NJ CERTIFICATION FOR MODULARS
 YES X NO

		RBA DEVELOPMENT/ALYCE GLENNON/JIM & TRACEY JAHNSEN	
7172 ROUTE 522 MIDDLEBURG, PA 17842 PHONE: (570) 837-2333		BUILDING LOCATION: 250 OCEAN AVE BLOCK 30, LOT 52 SEA BRIGHT, NJ 07760 MONMOUTH COUNTY	
STAGE STF REV FINAL		DRAWN BY MS MS	
DATE 7/2/20 8/3/20		WIND LOAD: 23 PSF	
REV - - -		WIND ZONE: 120 MPH (ULT) 20 PSF	
SEISMIC DESIGN CATEGORY: B		SCALE: 3/16" = 1'-0"	
FRONT ELEVATION		FILE NO: A16599(88)	

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NOTE: ACTUAL HOUSE MAY VARY FROM ELEVATION

NOTE:
GARAGE DOORS SUPPLIED &
INSTALLED BY OTHERS

SHIPLOOSE SIDING

PORCH ROOF, DECK, STAIRS,
RAILING, LANDING AND POSTS
ON-SITE BY OTHERS

RBA DEVELOPMENT/ALYCE GLENNON/JIM & TRACEY JAHNSEN	
SEISMIC DESIGN CATEGORY: B	2648 CUSTOM 2 STORY LEFT SIDE ELEVATION
BUILDING LOCATION: 250 OCEAN AVE BLOCK 30, LOT 52 SEA BRIGHT, NJ 07760 MONMOUTH COUNTY	FILE NO: A16599(88)
WIND LOAD: 23 PSF	LAYER: LEFT
WIND ZONE: 120 MPH (ULT)	SCALE: 3/16"= 1'-0"
SNOW ZONE: 20 PSF	

STAGE	DATE	DRAWN BY
STF	7/2/20	MS
REV FINAL	8/3/20	MS
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

THE PEAK OF PERFECTION
APEX HOMES of PA, LLC.
7172 ROUTE 522
MIDDLEBURG, PA 17842
PHONE: (570) 837-2333



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WP8105 WALL IS ALLOWED 25% OPENINGS
 TOTAL WALL SQ. FT.: 901 SQ FT
 TOTAL WINDOW OPENING SQ. FT.: 121 SQ FT
 MAXIMUM ALLOWED: 225 SQ FT

PORCH ROOF, DECK, STAIRS,
 RAILING, LANDING AND POSTS
 ON-SITE BY OTHERS

SHIPLOOSE SIDING

NOTE: ACTUAL HOUSE MAY VARY FROM ELEVATION

RBA DEVELOPMENT/ALYCE GLENNON/JIM & TRACEY JAHNSEN		SEISMIC DESIGN CATEGORY: B		FILE NO: A16599(88)
BUILDING LOCATION: 250 OCEAN AVE BLOCK 30, LOT 52 SEA BRIGHT, NJ 07760 MONMOUTH COUNTY		WIND LOAD: 23 PSF	SCALE: 3/16" = 1'-0"	LAYER: RIGHT
STAGE	DATE	DRAWN BY	WIND ZONE: 120 MPH (ULT)	
STF	7/2/20	MS	SNOW ZONE: 20 PSF	
REV	8/3/20	MS		

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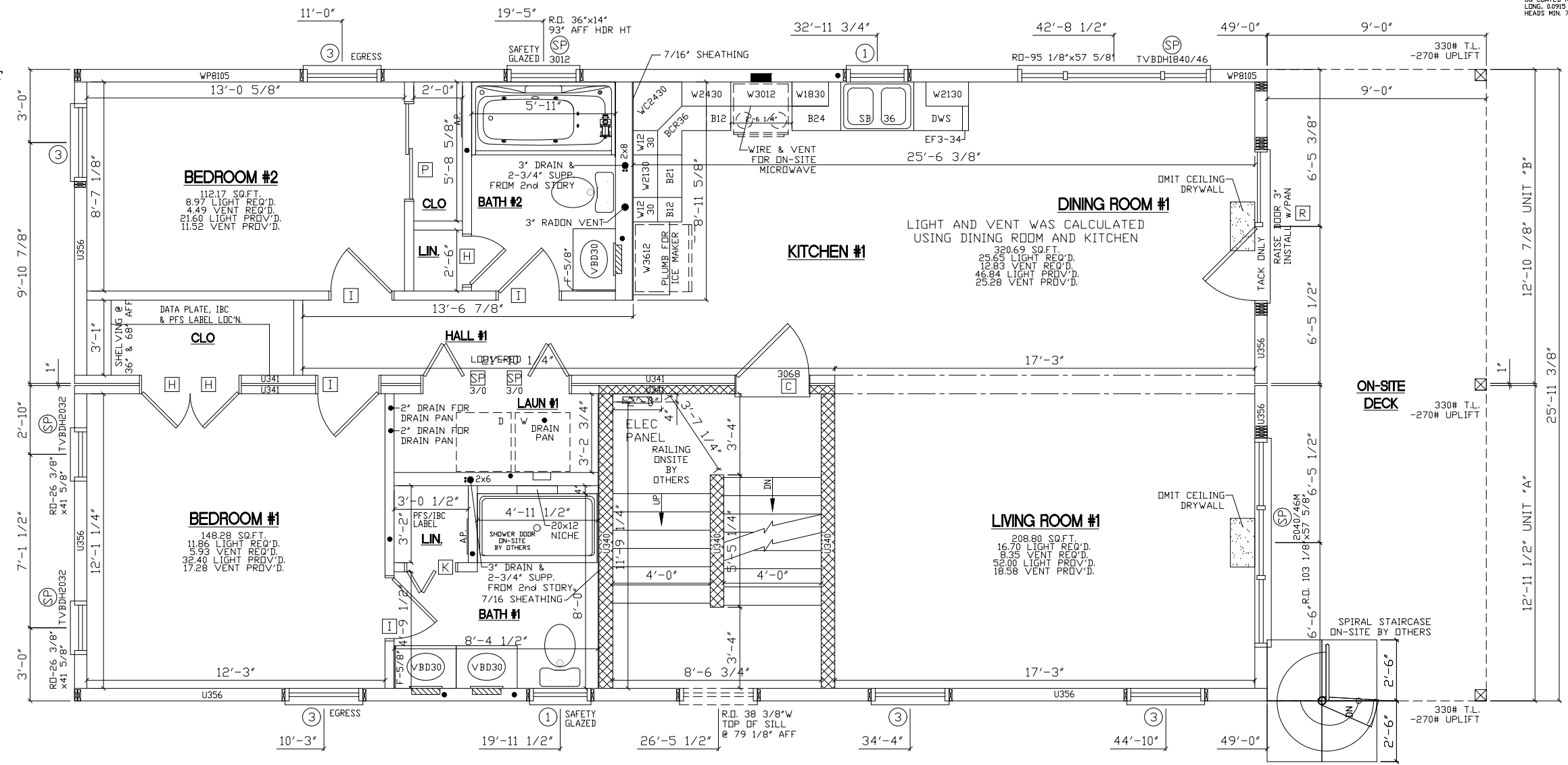
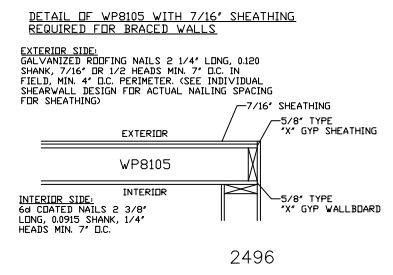
NEW JERSEY CODES
 2018 INTERNATIONAL RESIDENTIAL CODE w/ NJ AMENDMENTS
 2018 PHCC NATIONAL STANDARD PLUMBING CODE w/ NJ AMENDMENTS
 2018 INTERNATIONAL ENERGY CONSERVATION CODE w/ NJ AMENDMENTS
 2017 NFPA NATIONAL ELECTRICAL CODE w/ NJ AMENDMENTS

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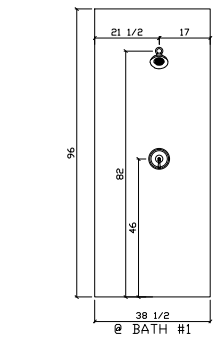
GLENCO SYSTEM CALC'S:
 ALL EXT. LOAD BEARING HDR'S: WITH SPAN OF ?'-?' OR LESS WILL BE (3) 2x6 SPF #2 ALL OTHERS WILL BE SPECIFIED. ALL REQUIRED JACK STUDS SHOWN ARE 2x6 SPF #2.

ALL M/W HDR'S: WITH SPAN OF ?'-?' OR LESS WILL BE (4) 2x6 SPF #2 ALL OTHERS WILL BE SPECIFIED.

USE GROUP R-5
 CONSTRUCTION TYPE VA
 AREA SQ. FT.
 PLANS DERIVED FROM APPROVED CRITERIA
 FOUNDATION PLANS MUST BE APPROVED BY A N.J. P.E. OR R.A.



FRONT ELEVATION



L539 FIRE SEPARATION FL/CLG

USE 3M PLUMBING COLLARS

* NOTE : SEE BRACED / SHEAR WALL AND FOUNDATION PLAN PAGES FOR HIGH WIND DETAILS AND REQUIREMENTS.

*NOTE: CUT BACK FLOOR SHEATHING 18" EACH SIDE OF MARRIAGE WALL OPENINGS

* IMPORTANT NOTE : RAISE INTERIOR DOORS 1/2", JAMBS TO FLOOR

R-13 INSULATION INSTALLED IN BASEMENT STAIR WALLS

R-13 INSULATION INSTALLED IN UNDERSIDE OF STAIRS.

- NOTES:
- BUILDER IS RESPONSIBLE FOR PROVIDING A PROPERLY SIZED HEATING SYSTEM TO COVER A 66,000 BTU LOSS (TOTAL BLDG)
 - HEAT LOSS WAS CALCULATED WITH R-19 FLOOR INSULATION
 - MW CLASS WINDOWS BY PLYGEM
 - 1ST FLOOR SQUARE FOOTAGE = 1248 SQ/FT

- BEAM AT LIVING ROOM TO BE CALC'D
- 8'-0" CEILING HEIGHT
-
-
-

RBA DEVELOPMENT/ALYCE GLENNON/JIM & TRACEY JAHNSEN		FILE NO: A16599(88)	
2648 CUSTOM 2 STORY		LAYER: SH1/FP1	
1ST STORY FLOOR PLAN		SCALE: 3/16" = 1'-0"	
SEISMIC DESIGN CATEGORY: B		WIND LOAD: 23 PSF	
BUILDING LOCATION: 250 OCEAN AVE BLOCK 30, LOT 52 SEA BRIGHT, NJ 07760 MONMOUTH COUNTY		WIND ZONE: 120 MPH (ULT)	
DRAWN BY: MS		SNOW ZONE: 20 PSF	
DATE: 7/2/20		WIND LOAD: 23 PSF	
REV FINAL		WIND ZONE: 120 MPH (ULT)	
REV 8/3/20		SNOW ZONE: 20 PSF	
REV -		WIND LOAD: 23 PSF	
REV -		WIND ZONE: 120 MPH (ULT)	
REV -		SNOW ZONE: 20 PSF	
REV -		WIND LOAD: 23 PSF	
REV -		WIND ZONE: 120 MPH (ULT)	
REV -		SNOW ZONE: 20 PSF	

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7172 ROUTE 522
 MIDDLEBURG, PA 17842
 PHONE: (570) 837-2333

GLENCO SYSTEM CALC'S:
 ALL EXT. LOAD BEARING HDR'S: WITH SPAN OF 7'-7" OR LESS WILL BE (3) 2x6 SPF #2 ALL OTHERS WILL BE SPECIFIED. ALL REQUIRED JACK STUDS SHOWN ARE 2x6 SPF #2.

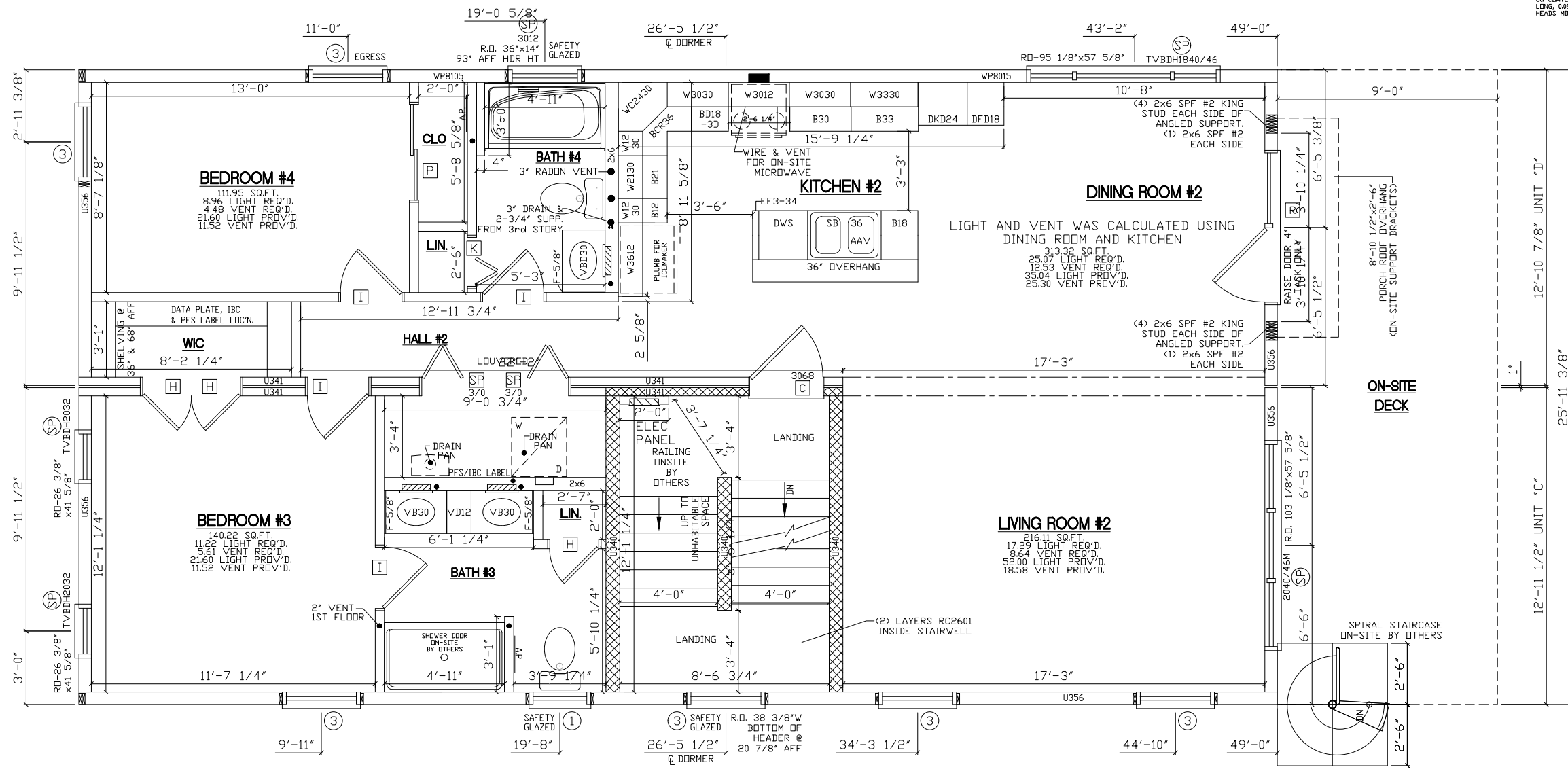
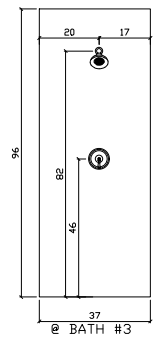
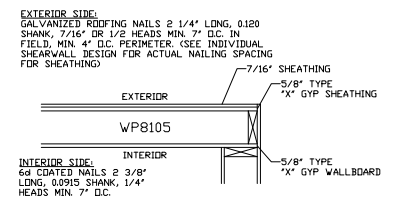
ALL M/W HDR'S: WITH SPAN OF 7'-7" OR LESS WILL BE (4) 2x6 SPF #2 ALL OTHERS WILL BE SPECIFIED.

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RC2601
 (2 - 5/8" DRYWALL)
 FIRE SEPARATION
 ON CEILING

QN-17233/JN-69799/NJ

DETAIL OF WP8105 WITH 7/16" SHEATHING REQUIRED FOR BRACED WALLS



FRONT OF HOUSE

R-13 INSULATION INSTALLED IN STAIR WALLS

RBA DEVELOPMENT/ALYCE GLENNON/JIM & TRACEY JAHNSEN	FILE NO: A16599(88)	
2648 CUSTOM 2 STORY 2ND STORY FLOOR PLAN	LAYER: SH2/FP2	
SEISMIC DESIGN CATEGORY: B	SCALE: 3/16" = 1'-0"	
BUILDING LOCATION: 250 OCEAN AVE BLOCK 30, LOT 52 SEA BRIGHT, NJ 07760 MONMOUTH COUNTY	WIND LOAD: 23 PSF	
	WIND ZONE: 120 MPH (ULT)	
	SNOW ZONE: 20 PSF	
STAGE STF	DATE 7/2/20	DRAWN BY MS
REV FINAL	8/3/20	MS

- NOTES:
- 2ND FLOOR SQUARE FOOT = 1248 SQ/FT
 - MW WINDOWS BY PLYGEM
 - 9/12 STORAGE RAFTER @ 16" O.C.
 - BEAM AT LIVING ROOM TO BE CALC'D
 - 8'-0" CEILING HEIGHT

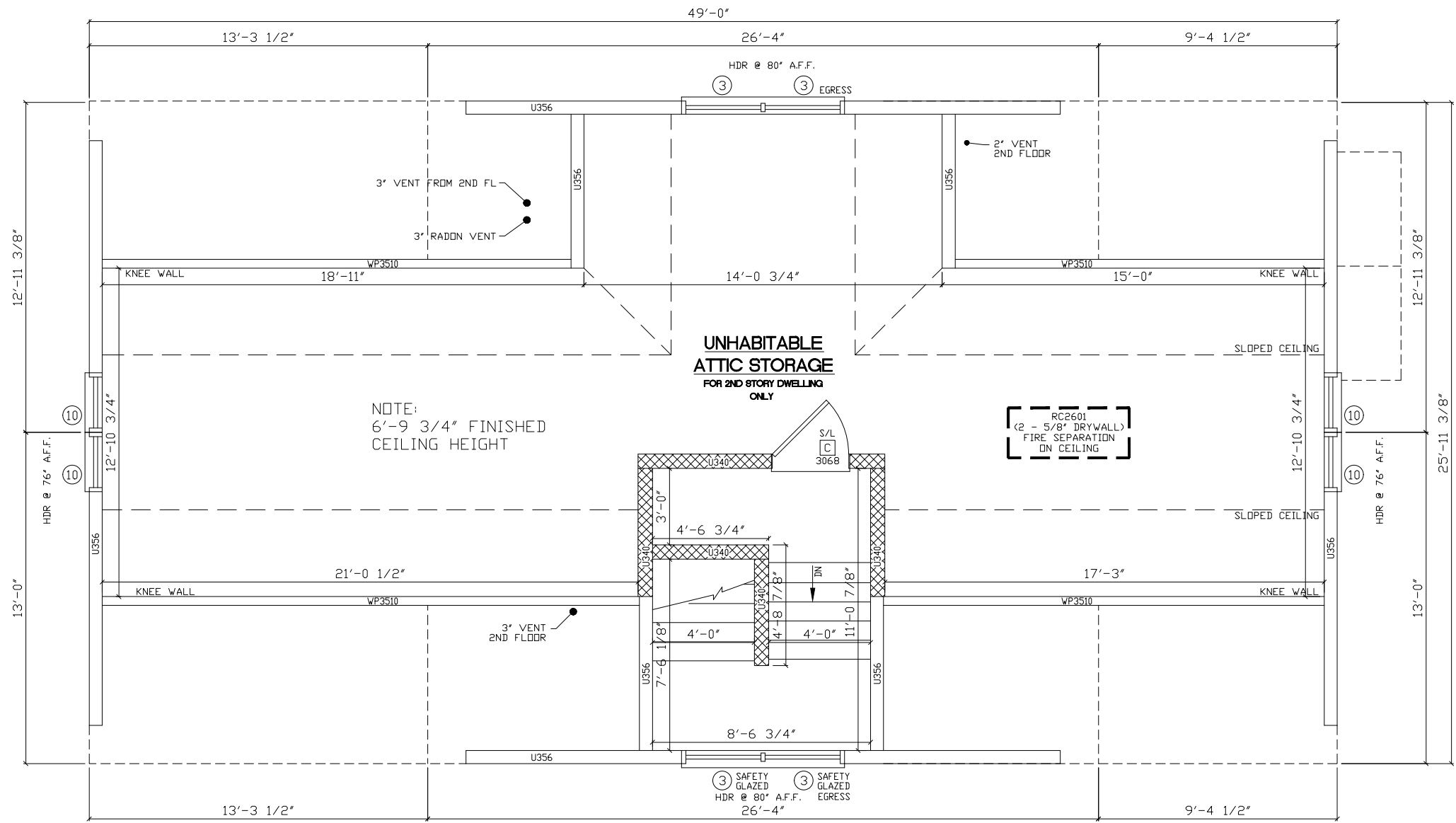
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APEX HOMES of PA, LLC.

7172 ROUTE 522
 MIDDLEBURG, PA 17842
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NOTE:
6'-9 3/4" FINISHED
CEILING HEIGHT

PROPOSED THIRD FLOOR DRAWINGS ARE TO BE USED AS A GUIDE ONLY. BEAM SIZE IS BASED ON SUGGESTED PLAN SHOWN. APEX HOMES WILL NOT ASSUME ANY LIABILITY OR RESPONSIBILITY FOR ALTERED CONSTRUCTION OF THIRD FLOOR LAYOUT.

☒ R-13 INSULATION INSTALLED IN UNFINISHED CAPE STAIR WALLS

- NOTES:
- 1.
 - 2.
 - 3.
 - 4.
 - 5.

- 6.
- 7.
- 8.
- 9.
- 10.

- 11.
- 12.
- 13.
- 14.
- 15.

RBA DEVELOPMENT/ALYCE GLENNON/JIM & TRACEY JAHNSEN		SEISMIC DESIGN CATEGORY: B		FILE NO: A16599(88)
BUILDING LOCATION: 250 OCEAN AVE BLOCK 30, LOT 52 SEA BRIGHT, NJ 07760 MONMOUTH COUNTY		WIND LOAD: 23 PSF		LAYER: SH3/FP3
2648 CUSTOM 2 STORY THIRD FLOOR PLAN		WIND ZONE: 120 MPH (ULT)		SCALE: 3/16" = 1'-0"
SNOW ZONE: 20 PSF		WIND ZONE: 120 MPH (ULT)		

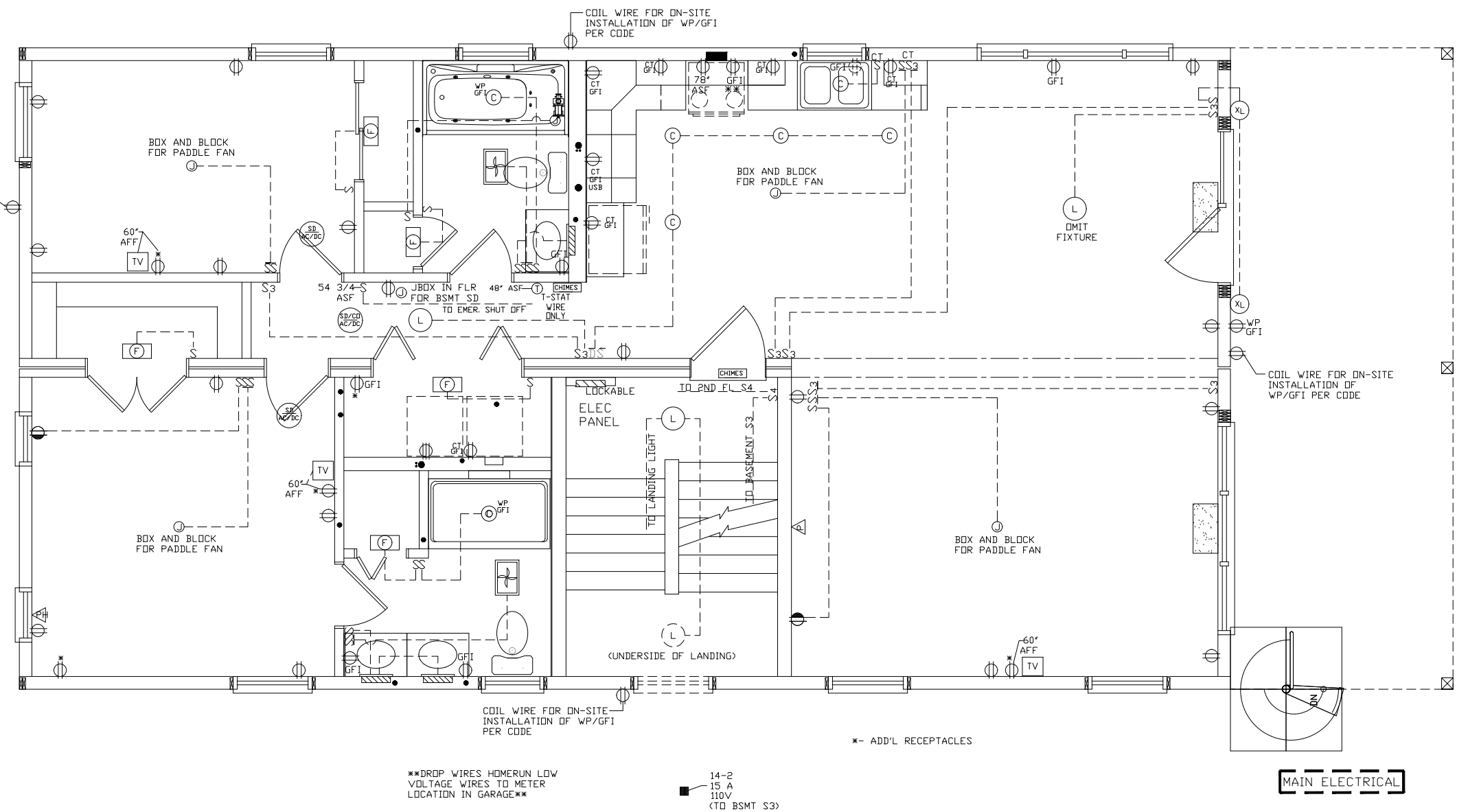
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MIDDLEBURG, PA 17842
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* NOTE :
PLEASE PROVIDE LOCATIONS
FOR THE FOLLOWING :
- MAIN ELECTRIC
- MAIN WATER SUPPLY
- MAIN SEWER

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- NOTES:
1. ALL LIVING SPACES ARE ARC-FAULT PROTECTED COMBINATION TYPE
 2. SEE 2017 NEC NOTE
 - 3.
 - 4.

RBA DEVELOPMENT/ALYCE GLENNON/JIM & TRACEY JAHNSEN		2648 CUSTOM 2 STORY 1ST STORY ELECT PLAN		FILE NO: A16599(88)
SEISMIC DESIGN CATEGORY: B		WIND LOAD: 23 PSF		LAYER: SH1 /EL1
BUILDING LOCATION: 250 OCEAN AVE BLOCK 30, LOT 52 SEA BRIGHT, NJ 07760 MONMOUTH COUNTY		WIND ZONE: 120 MPH (ULT)		SCALE: 3/16"= 1'-0"
SNOW ZONE: 20 PSF	DATE: 7/2/20	DRAWN BY: MS	STAGE: STF	REV: FINAL
DATE: 8/3/20	DRAWN BY: MS	STAGE: REV	STAGE: FINAL	REV: -
DATE: -	DRAWN BY: -	STAGE: -	STAGE: -	REV: -
DATE: -	DRAWN BY: -	STAGE: -	STAGE: -	REV: -
DATE: -	DRAWN BY: -	STAGE: -	STAGE: -	REV: -

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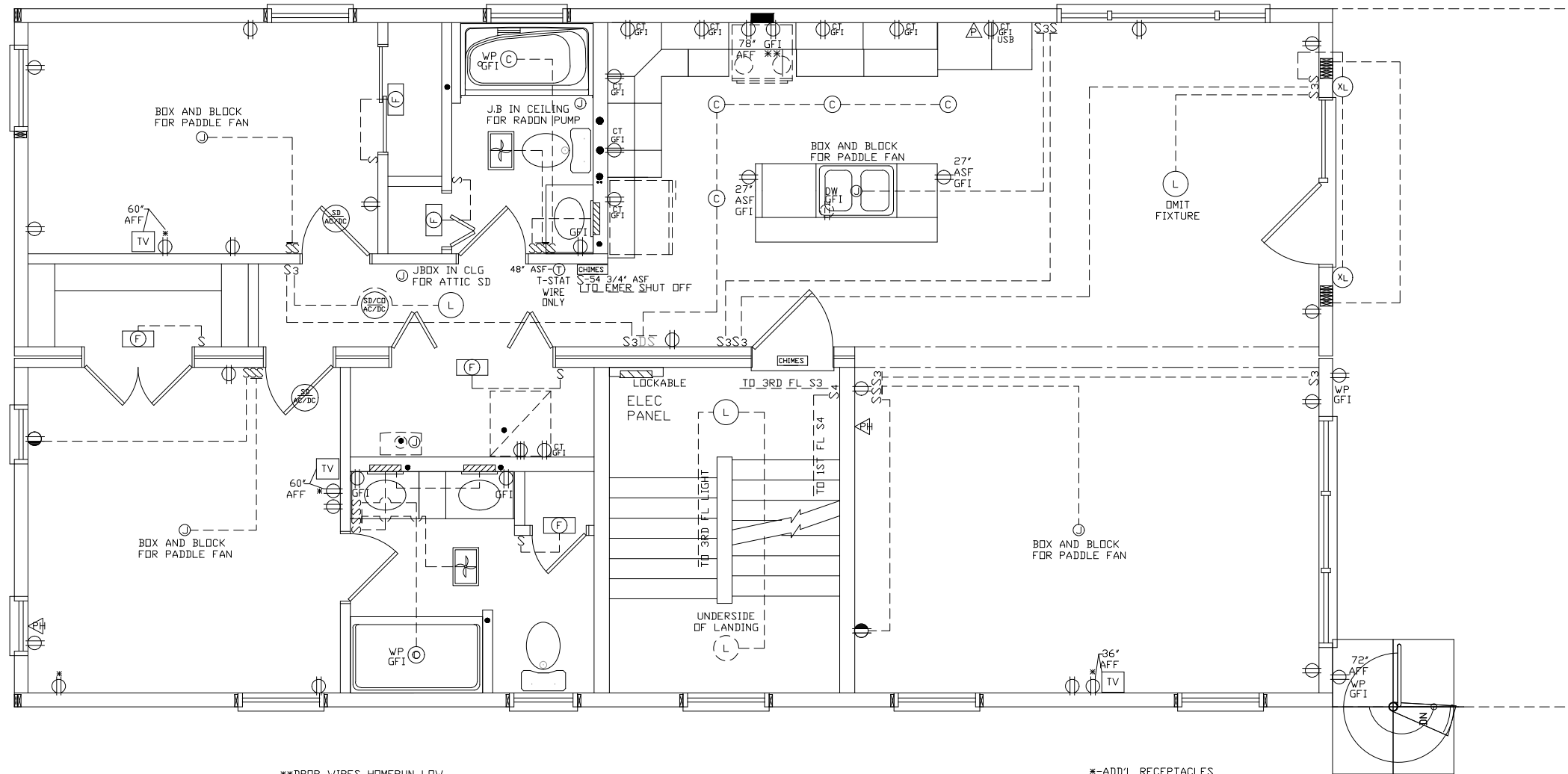
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GAS LINES DM-211E BY OTHERS

- 12-2 20 A 120V GFI
- 12-2 20 A 110V
- TV IN ATTIC
- 12-2 20 A 110V (TO ATTIC-AIR HANDLER)
- 10-3 30 A 220V (CONDENSER) (TO BSMT)



DROP WIRES HOMERUN LOW VOLTAGE WIRES TO METER LOCATION IN GARAGE

**ADD'L RECEPTACLES

RBA DEVELOPMENT/ALYCE GLENNON/JIM & TRACEY JAHNSEN	
SEISMIC DESIGN CATEGORY: B	2648 CUSTOM 2 STORY 2ND STORY ELECT PLAN
BUILDING LOCATION: 250 OCEAN AVE BLOCK 30, LOT 52 SEA BRIGHT, NJ 07760 MONMOUTH COUNTY	FILE NO: A16599(88)
WIND LOAD: 23 PSF	LAYER: SH2 /EL2
WIND ZONE: 120 MPH (ULT)	SCALE: 3/16"= 1'-0"
SNOW ZONE: 20 PSF	

STAGE	DATE	DRAWN BY
STF	7/2/20	MS
REV FINAL	8/3/20	MS
-	-	-
-	-	-
-	-	-
-	-	-

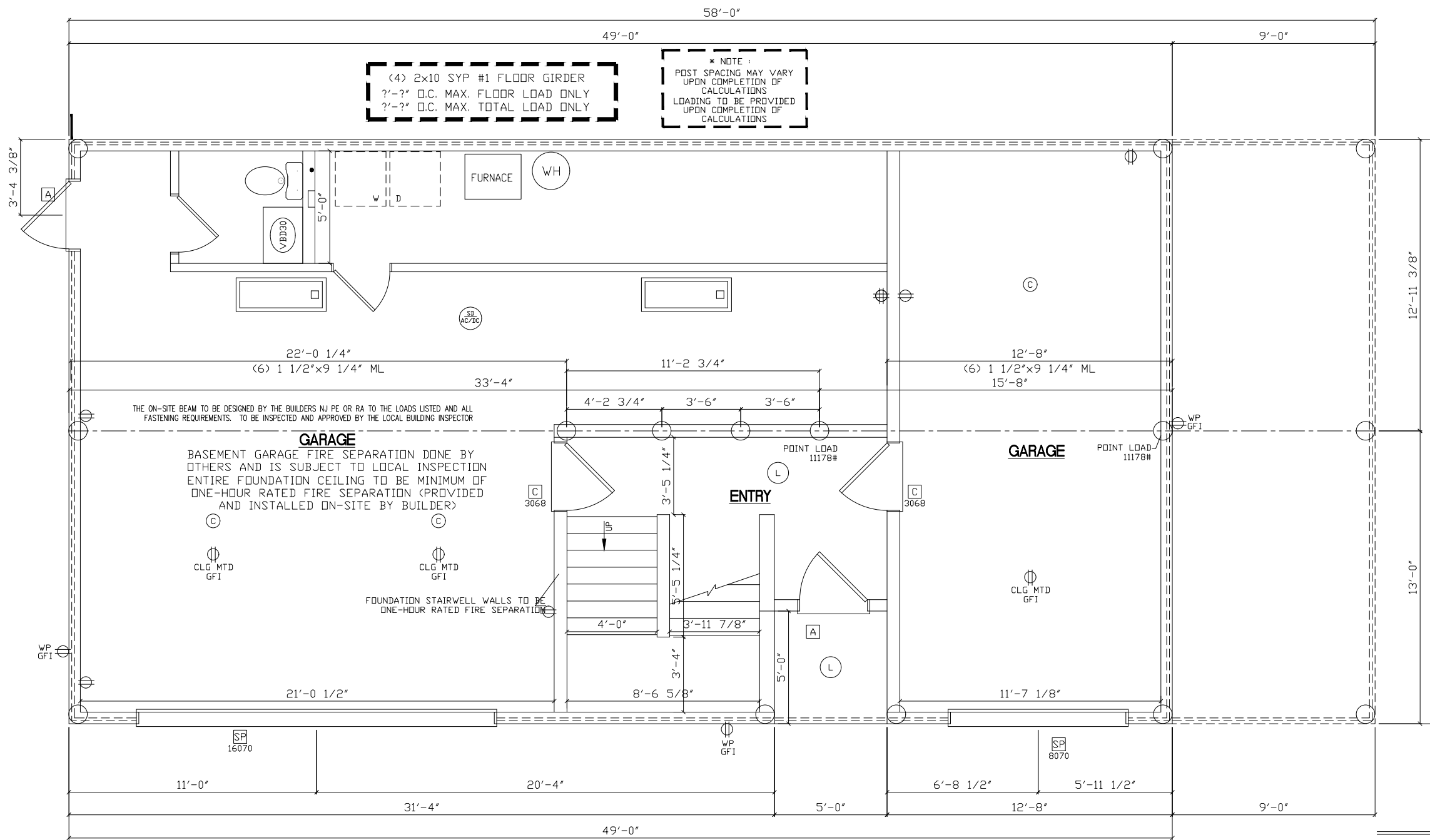
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- NOTES:
1. ALL LIVING SPACES ARE ARC-FAULT PROTECTED COMBINATION TYPE
 2. SEE 2017 NEC NOTE
 - 3.
 - 4.

THESE PLANS HAVE BEEN EXTRACTED FROM APPROVED BUILDING SYSTEMS FILED WITH THE STATE.



(4) 2x10 SYP #1 FLOOR GIRDER
 ?'-?' D.C. MAX. FLOOR LOAD ONLY
 ?'-?' D.C. MAX. TOTAL LOAD ONLY

* NOTE:
 POST SPACING MAY VARY UPON COMPLETION OF CALCULATIONS
 LOADING TO BE PROVIDED UPON COMPLETION OF CALCULATIONS

THE ON-SITE BEAM TO BE DESIGNED BY THE BUILDERS NJ PE OR RA TO THE LOADS LISTED AND ALL FASTENING REQUIREMENTS. TO BE INSPECTED AND APPROVED BY THE LOCAL BUILDING INSPECTOR

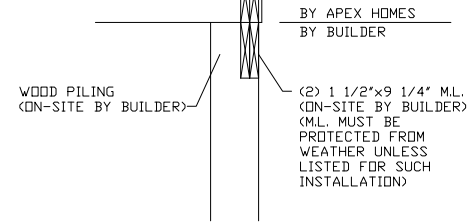
GARAGE
 BASEMENT GARAGE FIRE SEPARATION DONE BY OTHERS AND IS SUBJECT TO LOCAL INSPECTION
 ENTIRE FOUNDATION CEILING TO BE MINIMUM OF ONE-HOUR RATED FIRE SEPARATION (PROVIDED AND INSTALLED ON-SITE BY BUILDER)

FOUNDATION STAIRWELL WALLS TO BE ONE-HOUR RATED FIRE SEPARATION

NOTE:
 THE PIERS AND GRADE BEAMS ARE TO BE DESIGNED BY A NJ PE PER THE LOADS LISTED AND THE SHEARWALL CALCULATIONS AND APPROVED BY THE LOCAL BUILDING INSPECTOR.

NOTE:
 THIS HOUSE IS LOCATED IN A FLOOD PLAIN.

FOUNDATION DRAWINGS ARE TO BE USED AS A GUIDE ONLY. APEX HOMES WILL NOT ACCEPT ANY LIABILITY OR RESPONSIBILITY FOR INCORRECT FOUNDATIONS.



- NOTES:
- FOR ADDITIONAL INFORMATION SEE TYPICAL FOUNDATION DRAWING A15,16 OF THIS SET
 - PERIMETER RAIL ATTACHED TO SILL WITH 16d NAILS AT 6" O.C.
 - PIER FOOTINGS BASED UPON 2000 PSF ALLOWABLE SOIL BEARING PRESSURE
 - CONCRETE COMPRESSIVE STRENGTH: 2500 PSI
 - M OR S TYPE MORTAR TO BE USED

- MAX ANCHOR BOLT SPACING: 6'-0" O.C. (4'-0" O.C. MAX IN AREAS WHERE WIND VELOCITY IS @ OR EXCEEDS 100 MPH)
- WINDOWS OR VENTS (INSTALLED BY OTHERS) ARE REQUIRED TO PROVIDE 1/150 OF FLOOR AREA AS FREE VENTILATION AND SHALL BE LOCATED AS CLOSE TO CORNERS AS POSSIBLE
- NOTES ON THIS PAGE TAKE PRECEDENCE OVER NOTES ON TYPICAL FOUNDATION DWG. A15/A16

RBA DEVELOPMENT/ALYCE GLENNON/JIM & TRACEY JAHNSEN		2648 CUSTOM 2 STORY FOUNDATION PLAN		FILE NO: A16599(88)
BUILDING LOCATION: 250 OCEAN AVE BLOCK 30, LOT 52 SEA BRIGHT, NJ 07760 MINMOUTH COUNTY		SEISMIC DESIGN CATEGORY: B	WIND LOAD: 23 PSF	LAYER: FOUNDATION
SNOW ZONE: 20 PSF	WIND ZONE: 120 MPH (ULT)	SCALE: 3/16" = 1'-0"		
STAGE: STG FINAL	DATE: 7/2/20	DRAWN BY: MS		
REV: -	DATE: 8/3/20	MS		

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ELECTRICAL NOTES

GENERAL NOTES

2018 IRC NOTES

2017

1. GASKET OR WEATHERSTRIPPING AND INSULATION, EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES, IS TO BE INSTALLED UPON COMPLETION OF THE SET-UP OF THE HOME AT CEILING ACCESS PANELS AND / OR PULL DOWN STAIRS ON SITE BY OTHERS.
2. DRYER VENT DUCT SHALL TERMINATE ON AN OUTSIDE WALL OF A BUILDING NOT LESS THAN 3'-0" IN ANY DIRECTION FROM ANY OPENING INTO THE BUILDING AND MUST BE EQUIPPED WITH A BACKDRAFT DAMPER.
3. TUB / SHOWER CONTROL VALVES TO HAVE A HIGH STOP LIMIT SET TO LIMIT WATER TEMPERATURE TO A MAXIMUM OF 120° F (49°C).
4. THE BASEMENT AND / OR ATTIC DOOR MUST HAVE WEATHERSTRIPPING AND A SWEEP PROVIDED AND INSTALLED ON-SITE BY OTHERS.+
5. ADD BLOCKING IN WALLS ON ALL ENDS OF CABINET RUNS FOR BASE, WALL, TALL AND VANITY CABINETS TO PULL SIDE OF CABINETS TIGHT TO THE WALL.

1. WINDOW EGRESS REQUIREMENTS MEET 2018 IRC, SECTION R310.1
2. VISUAL INSPECTION OF THE INSULATION INSTALLATION WILL BE DOCUMENTED BY THE APEX QC DEPARTMENT.
3. BUILDER TO INSTALL A FRESH AIR INTAKE FROM THE ON-SITE FORCED AIR SYSTEM TO MEET THE REQUIREMENTS OF M1507.3.3(1).
4. HOT WATER PIPE INSULATION SHALL BE INSTALLED IN ACCORDANCE W/ SECT. N1103.4.2 OF THE 2018 IRC.
5. EXTERIOR WALL FIRE RATING AND REQUIRED FIRE SEPARATION DISTANCES MEET THE REQUIREMENTS PER THE 2018 IRC TABLE 302.1(1) & (2)
6. BUILDER TO PROVIDE AND INSTALL HIGH-EFFICACY LAMPS IN 75% OF PERMANENTLY INSTALLED LIGHTING FIXTURES ON-SITE PER SECTION N1104.1.
7. ALL WINDOWS WITH OPENINGS WHICH OPEN 4 INCHES OR GREATER, ARE 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW AND THE LOWEST PART OF THE CLEAR OPENING IS LESS THAN 24 INCHES ABOVE THE FINISHED FLOOR, WILL REQUIRE WINDOW GUARDS PER 2015 IRC SECTIONS R312.2. THE WINDOW GUARDS WILL BE PROVIDED AND INSTALLED ON-SITE BY OTHERS.

- * 2017 NEC NOTES :
1. ALL LIGHT BOXES MUST BE RATED TO SUPPORT 50# FOR NON-PADDLE FANS AND 70# FOR PADDLE FAN BOXES.
 2. TAMPER RESISTANT (T.R.) RECEPTACLES REQUIRED THRU-OUT THE ENTIRE HOME, UNLESS NOTED OTHERWISE ON THE PLAN.
 3. ALL BALCONIES, DECKS AND PORCHES ACCESSIBLE FROM INSIDE THE DWELLING UNIT ARE REQUIRED TO HAVE ONE WATERPROOF (W.P.) T.R. GFI RECEPTACLE WITHIN THE PERIMETER OF THE BALCONY, DECK OR PORCH.
 4. 1 & 2 FAMILY DWELLINGS ARE REQUIRED TO BE PROVIDED WITH ONE W.P. T.R. GFI RECEPTACLE ACCESSIBLE WHILE STANDING AT GRADE LEVEL LOCATED A MAX. OF 6'-6" ABOVE GRADE AT THE FRONT AND REAR OF EACH DWELLING UNIT.
 5. THE GROUNDING CIRCUIT CONDUCTOR FOR THE CONTROLLED LIGHTING CIRCUIT SHALL BE PROVIDED AT THE LOCATION WHERE SWITCHES CONTROLLING LIGHTING LOADS THAT ARE SUPPLIED BY A GROUNDED GENERAL PURPOSE BRANCH CIRCUIT FOR OTHER THAN THE FOLLOWING:
 - A. WHERE CONDUCTORS ENTER THE BOX ENCLOSING THE SWITCH THROUGH A RACEWAY, PROVIDED THAT THE RACEWAY IS LARGE ENOUGH FOR ALL CONDUCTORS, INCLUDING A GROUNDED CONDUCTOR.
 - B. WHERE THE BOX ENCLOSING THE SWITCH IS ACCESSIBLE FOR THE INSTALLATION OF AN ADDITIONAL OR REPLACEMENT CABLE WITHOUT REMOVING FINISH MATERIALS
 - C. WHERE SNAP SWITCHES WITH INTEGRAL ENCLOSURES COMPLY WITH 300.15 (E)
 - D. WHERE A SWITCH DOES NOT SERVE A HABITABLE ROOM OR BATHROOM
 - E. WHERE MULTIPLE SWITCH LOCATIONS CONTROL THE SAME LIGHTING LOAD SUCH THAT THE ENTIRE FLOOR AREA OF THE ROOM OR SPACE IS VISIBLE FROM THE SINGLE OR COMBINED SWITCH LOCATIONS
 - F. WHERE LIGHTING IN THE AREA IS CONTROLLED BY AUTOMATIC MEANS
 - G. WHERE A SWITCH CONTROLS A RECEPTACLE LOADS
 6. ALL 15 AND 20 AMPERE 125 AND 250 VOLT RECEPTACLES INSTALLED IN A WET LOCATION STILL MUST HAVE AN ENCLOSURE AND COVERS THAT ARE WEATHERPROOF WHETHER AN ATTACHMENT PLUG CAP IS INSERTED OR NOT. ALL ENCLOSURES AND COVERS INSTALLED IN WET LOCATIONS MUST BE LISTED AS "EXTRA DUTY"
 7. A LUMINARIES WEIGHING MORE THAN 50 LBS. SHALL BE SUPPORTED INDEPENDENTLY OF THE OUTLET BOX, UNLESS IT IS LISTED AND MARKED FOR THE MAXIMUM WEIGHT TO BE SUPPORTED.
 8. ALL 120 VOLT, SINGLE-PHASE, 15 AND 20 AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS BEDROOMS, SUN ROOMS RECREATION ROOMS CLOSETS, HALLWAYS, LAUNDRY AREA, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED COMBINATION-TYPE ARC-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.
 9. ALL BATHROOM RECEPTACLES, LAUNDRY RECEPTACLES, EXTERIOR RECEPTACLES AND ALL RECEPTACLES SERVING KITCHEN COUNTERTOPS, THE DISHWASHER CIRCUIT OR RECEPTACLES THAT ARE WITH IN 6'-0" OF THE OUTSIDE EDGE OF THE KITCHEN SINK INCLUDING RECEPTACLES UNDER THE SINK OR IN CABINETS ARE REQUIRED TO BE GFI PROTECTED.

RBA DEVELOPMENT/ALYCE GLENNON/JIM & TRACEY JAHNSEN	
SEISMIC DESIGN CATEGORY: B	2648 CUSTOM 2 STORY
BUILDING LOCATION: 250 OCEAN AVE BLOCK 30, LOT 52 SEA BRIGHT, NJ 07760 MONMOUTH COUNTY	SCALE: 3/16"= 1'-0"
WIND LOAD: 23 PSF	WIND ZONE: 120 MPH (ULT)
WIND ZONE: 20 PSF	FILE NO: A16599(88)

STAGE	DATE	DRAWN BY
STF	7/2/20	MS
REV FINAL	8/3/20	MS
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

THE PEAK OF PERFECTION

APEX HOMES of PA, LLC.

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